



**TOWN OF CAREFREE
NOTICE OF PUBLIC MEETING of the BOARD OF ADJUSTMENT**

WHEN: MONDAY, MARCH 08, 2021
WHERE: ZOOM WEB*
TIME: 5:00 p.m.

Pursuant to A.R.S. Section 38-431.02, notice is hereby given to the members of the Carefree Board Of Adjustment and to the public that the Board will hold a public meeting on **MONDAY, FEBRUARY 08, 2021** at 5:00 p.m.

Members of the Planning and Zoning Commission are participating by technological means or methods pursuant to A.R.S. §38-431(4).

**THE AGENDA FOR THE MEETING IS AS FOLLOWS:
CALL TO ORDER, SILENT ROLL CALL and PLEDGE OF ALLEGIANCE.**

ITEM 1. **APPROVAL** of the **JOINT** meeting minutes of the **PLANNING AND ZONING COMMISSION, BOARD OF ADJUSTMENT** and the **DEVELOPMENT REVIEW BOARD** dated **FEBRUARY 08, 2021**.

ITEM 2: **CASE NUMBER:** 20-12-V
APPLICANT: Tyler Green
11480 North 85th Street
Scottsdale, AZ 85260
CASE LOCATION: 1110 Ocotillo Circle
APN: 216-33-101
ZONING: R1-18 Single Family Residential Zoning District
18,000 square feet minimum lot size
REQUEST: **APPROVAL** of a **VARIANCE** to the Zoning Ordinance standards to allow for construction of a small garage addition to the existing home within a portion of the side yard building setback where such structures are not allowed. The proposed encroachment would be:

1. Ten feet (10') into the required ten-foot (10') side yard building setback.
2. Allow a lot coverage area of 4,158 square feet (53.3%), whereas the Ordinance only allows a maximum of 25% lot coverage for various building additions.

NOTE: The lot is smaller than the minimum size for its zoning district. This request is for relief from the side yard setback requirements.

ITEM 3: **CASE NUMBER:** 20-13-V

APPLICANT: Tyler Green
11480 North 85th Street
Scottsdale, AZ 85260

CASE LOCATION: 1108 Ocotillo Circle
APN: 216-33-102

ZONING: R1-18 Single Family Residential Zoning District
18,000 square feet minimum lot size

REQUEST: **APPROVAL** of a **VARIANCE** to the Zoning Ordinance standards to allow for construction of a small garage addition to the existing home within a portion of the side yard building setback where such structures are not allowed. The proposed encroachment would be:

1. Ten feet (10') into the required ten-foot (10') side yard building setback.
2. Allow a lot coverage area of 4,140 square feet (53.1%), whereas the Ordinance only allows a maximum of 25% lot coverage for various building additions.

NOTE: The lot is smaller than the minimum size for its zoning district. This request is for relief from the **side yard** setback requirements.

ITEM 4. ANNOUNCEMENTS

ITEM 5. ADJOURNMENT

BOARD OF ADJUSTMENT

Samantha Gesell

Samantha Gesell, Planning Clerk 03/03/2021

Join Zoom Meeting

<https://zoom.us/j/96084123905>

Meeting ID: 960 8412 3905

Dial by your location
+1 253 215 8782 US (Tacoma)

NOTE: A quorum of another public body of the Town of Carefree such as the Town Council or other committee, board, or commission created by the Town of Carefree, may be present and may participate in the public meeting noticed herein by discussing, proposing, and/or deliberating legal action to be taken by the BOARD OF ADJUSTMENT, although no legal action will be taken by such other body of the Town.



IF YOU REQUIRE SPECIAL ACCOMMODATIONS DUE TO A DISABILITY:

At least three (3) working days prior to the meeting date, please contact the:

**Carefree Town Clerk
8 Sundial Circle
PO Box 740
Carefree, AZ 85377**

**PHONE (480) 488-3686
FAX (480) 488-3845
email: samantha@carefree.org**



**JOINT MEETING
TOWN OF CAREFREE
PLANNING AND ZONING COMMISSION, BOARD OF ADJUSTMENT AND THE
DEVELOPMENT REVIEW BOARD
*DRAFT MINUTES***

WHEN: MONDAY, FEBRUARY 08, 2021

WHERE: ZOOM WEB*

TIME: 5:00 P.M.

Members of the Planning and Zoning Commission are participating by technological means or methods pursuant to A.R.S. §38-431(4).

BOARD MEMBERS PRESENT VIA ZOOM:

Vice Chairman Tom Cross
Commissioner Heather Burgett
Commissioner Peter Burns
Commissioner Phil Corso
Commissioner Dan Davee
Commissioner Ralph Ferro
Commissioner Lyn Hitchon

ABSENT: None

STAFF PRESENT VIA ZOOM:

Stacey Bridge-Denzak, Planning Director
Samantha Gesell, Planning Clerk

ITEM #1 APPROVAL of PLANNING AND ZONING MEETING MINUTES dated OCTOBER 12, 2020, BOARD OF ADJUSTMENT MINUTES dated DECEMBER 14, 2020 and the DEVELOPMENT REVIEW BOARD MINUTES dated NOVEMBER 16, 2020.

Commissioner Hitchon **MOVED** to **APPROVE** the minutes as presented.
Commissioner Davee **SECONDED** the motion, **PASSED** unanimously.

ITEM #2 INTRODUCTIONS of new PLANNING AND ZONING COMMISSIONERS, Peter Burns, Phil Corso and Ralph Ferro. **APPOINTMENTS** of PLANNING AND ZONING COMMISSION, CHAIRPERSON and VICE CHAIRPERSON.

Commissioner Hitchon **MOVED** to **APPOINT** Vice Chairperson Cross to the seat of Planning and Zoning Chairperson. Commissioner Ferro **SECONDED** the motion, **PASSED** unanimously.

Commissioner Ferro **MOVED** to **APPOINT** Commissioner Hitchon to the seat of Planning and Zoning Vice Chairperson. Chairman Cross **SECONDED** the motion, **PASSED** unanimously.

ITEM #3 ANNOUNCEMENTS

Planning Director Stacey Bridge-Denzak welcomed new Commission members. Ms. Bridge-Denzak informed the members of the upcoming Board of Adjustment meeting in March.

ITEM #4 ADJOURNMENT

Vice Chairperson Hitchon **MOVED** to **ADJOURN** the meeting. Commissioner Ferro **SECONDED** the **MOTION**, passed unanimously.

PLANNING AND ZONING COMMISSION

Samantha Gesell

SAMANTHA GESELL, PLANNING CLERK
FEBRUARY 08, 2021



STAFF REPORT – Board of Adjustment

MEETING DATE: MARCH 8, 2021

Item No. 2

SUBJECT

Zoning Variance, Case No. 20-12-V

REQUEST

This is a request for variances to *Article VI. Intensity Schedule and Development Standards* of the Zoning Ordinance on a legal non-conforming lot to allow for the construction of a small garage addition within portions of the side building setback where such structures are not allowed and an increase in lot coverage. The request is as follows:

- 1) Allow encroachment of 10 feet into the required 10-foot east side yard setback for building addition.
- 2) Allow a lot coverage area of 4,158 square feet (53.3%), whereas the Ordinance only allows a maximum of 25% lot coverage for various building additions.

Key Items for Consideration:

- 1) Subject property location: 1110 Ocotillo Circle, Lot 1412 of The Boulders Carefree Unit I Replat.
- 2) Proposal includes a minor addition to add a small golf cart garage.
- 3) Existing legal nonconforming features include the following:
 - a) Encroachment into the side and rear building setbacks for the existing residence.
 - b) 51.3% existing lot coverage where a maximum of 25% is allowed.
 - c) The lot is undersized (7,800 square feet) according to the R1-18 Single Family Residential development standards.
- 4) As a result of past approvals for similar variances in this area, which were based upon the legal nonconforming status of the properties involved, and pursuant to Arizona Revised Statutes, there are unique circumstances on this lot, also, which support the subject request.
- 5) Citizen participation requirements were met.

**APPLICANT/
OWNER INFO**

Applicant/Architect:
 Mr. Tyler Green
 11480 N. 85th Street
 Scottsdale, AZ 85260

Owner:
 Mr. and Mrs. John and Lynn Bickle
 1110 Ocotillo Circle
 Carefree, AZ 85377

LAND USE

General Plan

The Carefree General Plan designates the subject site and surrounding properties as Low Density Residential (LDR), 1 acre minimum.

Zoning

The zoning for the subject lot and surrounding properties in Carefree is R1-18 (18,000 square foot minimum lot size). Many of the lots in the Carefree Boulders HOA are considered legal nonconforming where lot lines, residences, and structures were established and built prior to the Town's

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incorporation in 1984, and before the current standards were in place regarding building setbacks and lot coverage. In this case, the home is an attached structure also.

Existing Use

A single-family residence is located on the subject property. Attached single-family residences are east and west of the parcel and open space (right-of-way and golf course property) are north and south of the subject site.

LOCATION

1110 Ocotillo Circle, Lot 1412 of The Boulders Carefree Unit I Replat (MCR: 138-22) APN 216-33-101

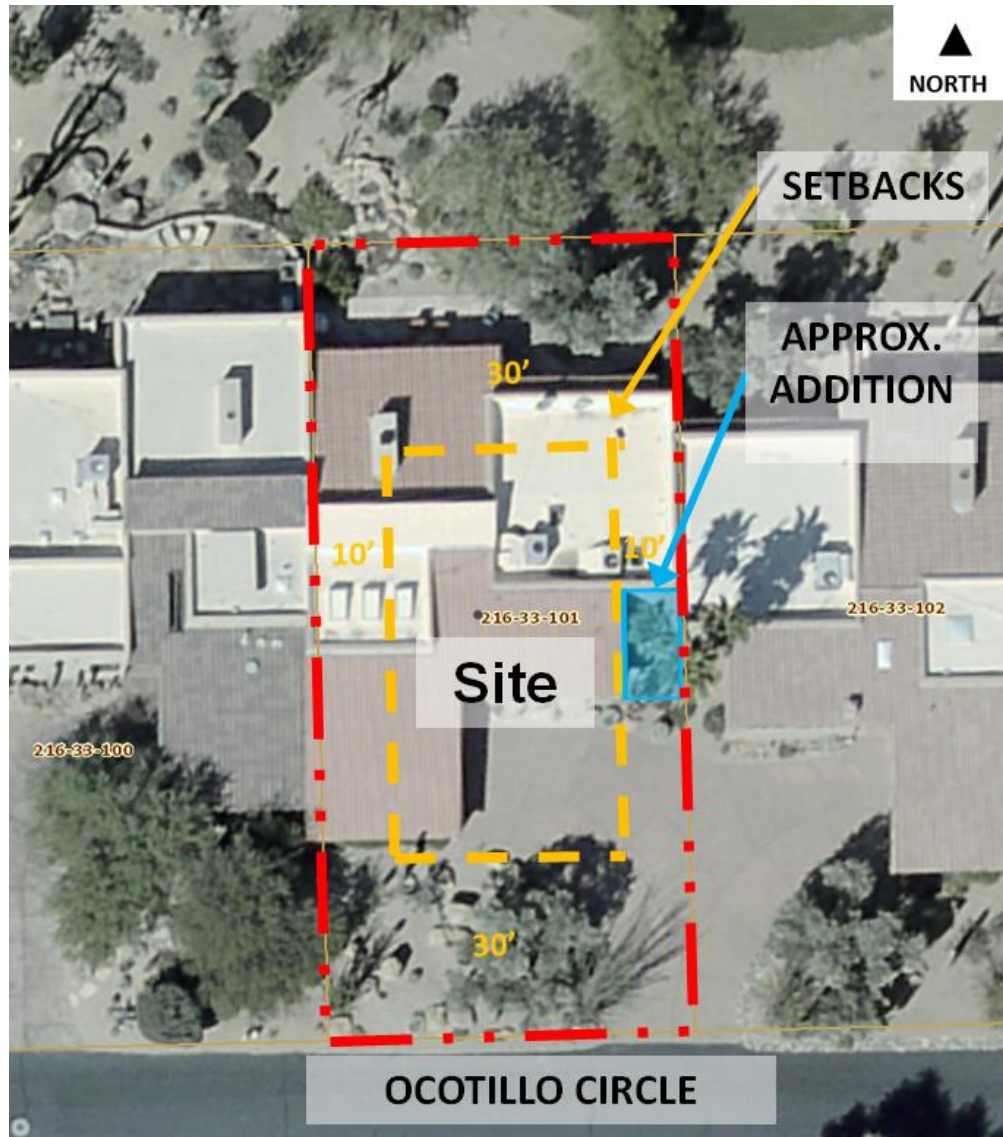


Source: Maricopa County Assessor, 2020

No Scale

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AERIAL MAP



Source: Maricopa County Assessor, 2020

No Scale

ZONING STANDARDS

Zoning Standards

See Table 1 below for a summary of existing conditions and the request.

Table 1. Development Standards

Standard	Required	Project	Variance Required
Lot Area	18,000 sq.ft.	7,800 sq.ft.	No*
Lot Frontage	120 ft.	60 ft.	No*
<u>Setbacks:</u>			
Front	30 ft.	Approx 32 ft.	No
Rear	30 ft.	Approx 18 ft.	No*
West Side	10 ft.	0 ft.	Yes*
East Side	10 ft.	0 ft.	No*

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Max. Lot Coverage	25%	53.3%	Yes *
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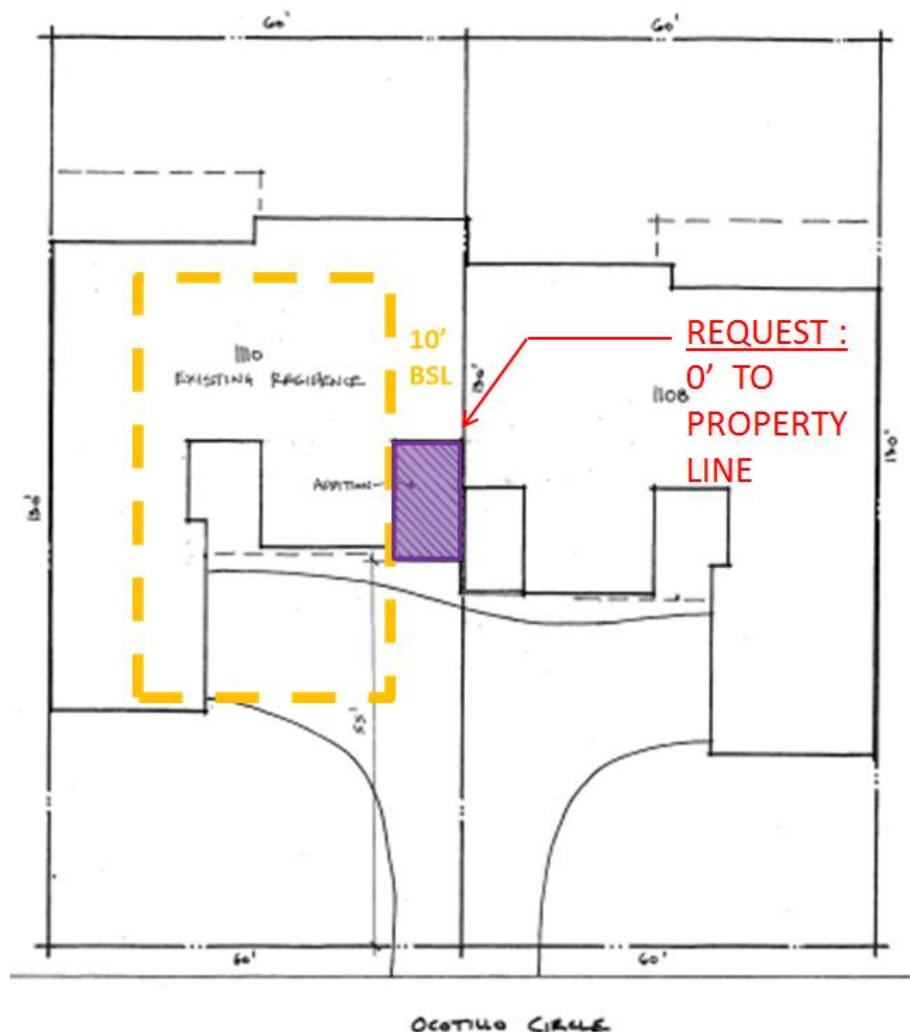
* Legal nonconforming condition.

PROJECT SUMMARY

Summary

Currently, the home is an attached single-family structure with a two-car garage. The proposed square footage and additional roof area are essentially infill to allow for a small, golf cart garage. See Diagram 1 for proposed site plan. The addition is approximately 136 square feet. It is common to see golf cart garages in The Boulders as it's known as an upscale, golf course community.

Diagram 1: Proposed Site Plan



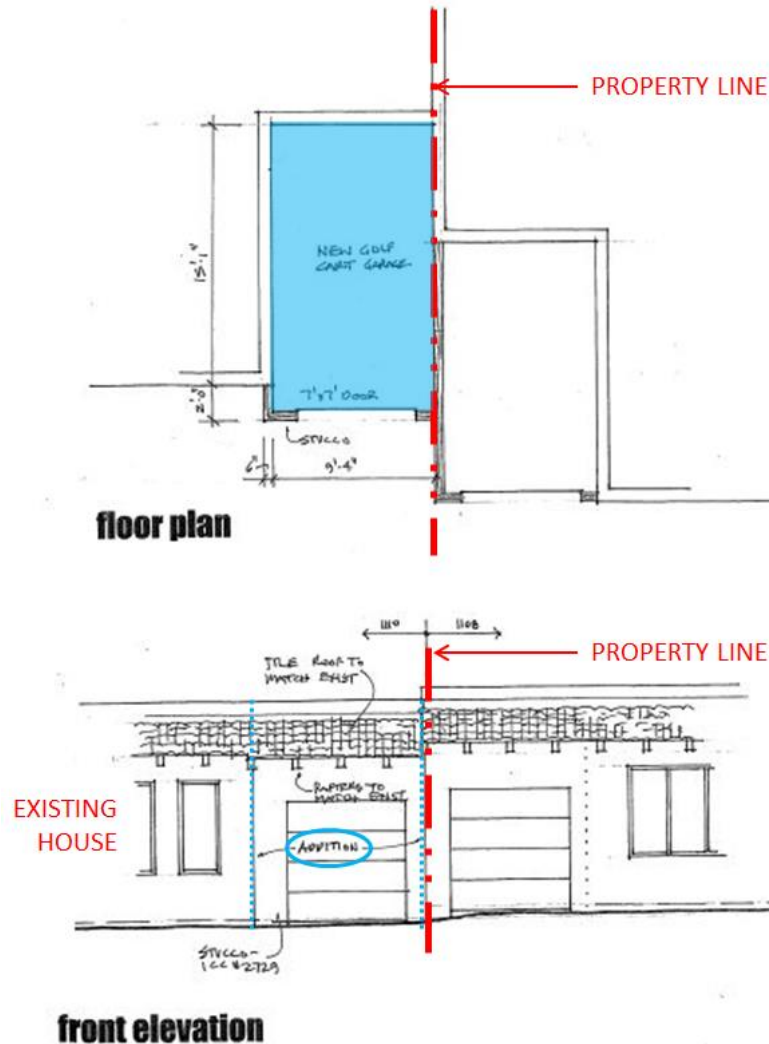
As per above, the home is an attached product with each side connected to another housing unit. Therefore, each side of the home is located in the corresponding side building setback areas by design. See Diagram 2. The east side of the home, where the garage addition is proposed, takes advantage of a vacant space created by a cut-out in the floor plan. No

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protected plants are found in this area. While minor, building in this void does increase the overall square foot under roof of the home, and therefore increases lot coverage. The original lot coverage calculation was a non-conforming condition as well.

According to Maricopa County, the residence was built in 1971, making it a legal nonconforming structure.

Diagram 2: Proposed Floor Plan and Front Elevation



The new elevation blends well with the proposed façade, and carries forward similar color and materials. The overall visual impacts to the elevations are minimal.

According to Article XI Nonconforming Uses, any expansion of a nonconforming feature must comply with current standards. Locating the addition within the side yard setback and increasing the overall square footage of the structure expands the nonconforming use, where current standards would prohibit them if constructed today. Therefore, these

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variances are being requested.

Citizen Participation

The applicant has fulfilled the requirements for Citizen Participation. Property owners within 500 feet of the subject lot were notified of this application. No comments were received by the Applicant. Furthermore, no comments were received by the Town prior to the publishing of this report.

VARIANCE CRITERIA

Variance Analysis

The existing size of the property and nature of the residence being a connected housing product constitute conditions unique to the subject property. Therefore, existing site conditions present a situation where it is more difficult for the property owner to comply with the zoning standards than they would for a lot in the same zoning district without the unique nonconforming features. First, the lot is undersized according to the development standards of the R1-18 Zoning District. It is more than 1/2 the required size of a lot platted today with this zoning. In turn, the existing lot coverage calculation exceeds what is permitted today. However, the increase is by 2%, therefore nominal. Second, since it is attached unit, it is inherently located in the required building setbacks. Adding on is more complicated and at times limited due to existing floor plan configurations.

The site conditions present a hardship for the property owner, who wishes to undergo a reasonable and minor addition, which was built in its current configuration before the Town was incorporated. The current setbacks and lot coverage maximum would preclude the owner from adding on to his home and improving his property at the proposed location. This condition is not self-imposed.

BOARD OF ADJUSTMENT

State Statutory Requirements

Decisions of the Board of Adjustment must fall within the guidelines of the Arizona Revised Statutes as contained in Title 9-462.06, *Board of Adjustment*.

1. The Board of Adjustment can approve variances only if the following special circumstances and the strict application of the zoning ordinance will deprive the property of privileges enjoyed by other properties in the same zoning district:
 - a) Size
 - b) Shape
 - c) Topography
 - d) Location
 - e) Surroundings
- 2) Variances shall not be granted as a special privilege that is not available to all other properties with the same conditions in the same zoning district.
- 3) Variances may be subject to conditions.
- 4) The Board of Adjustment may not:

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- a) Make any changes in the uses permitted in any zoning classification or zoning district, or make any changes in the terms of the zoning ordinance.
- b) Grant a variance if the special circumstances applicable to the property are self-imposed by the property owner.

Should the Board of Adjustment approve the variance, the conditions for approval attached as Exhibit “A” are provided for consideration.

ATTACHMENTS

Exhibit A. Conditions for Approval
Exhibit B. Citizen Participation Report
Exhibit C. Narrative
Exhibit D. Plans

EXHIBIT A
Case #20-12-V
CONDITIONS FOR APPROVAL

1110 Ocotillo Circle
Lot 1412 of The Boulders Carefree Unit I Replat
Tax Parcel #216-33-101

1. Three zoning variances are hereby granted to expand a legal nonconforming residential structure and site wall encroaching in the side and rear building setbacks and exceeding lot coverage as follows:
 - a) Allow encroachment of 10 feet into the required 10-foot east side yard setback for building additions; and,
 - b) Allow a lot coverage area of 4,158 square feet (53.3%), whereas the Ordinance only allows a maximum of 25% lot coverage for garage addition.
2. The building permit development plans shall conform to the development plans date-stamped December 17, 2020 submitted in association with this application.
3. The granting of these variances shall be null and void if the building permit is not issued within one year of approval.

Citizen Participation Report

The Bickle Residence
1110 Ocotillo Circle
Carefree, Arizona 85377

Existing Use of Property: Residence

Request:

Build a golf cart garage that would increase the lot coverage to 53% where 25% is allowed.

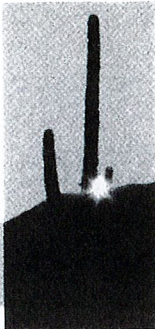
Owner: John and Lynn Bickle
1110 Ocotillo Circle
Carefree, Arizona 85377

Applicant: Tyler Green
11480 N. 85th Street
Scottsdale, Arizona 85260
phone: 480-348-2691

Contact: applicant

Responses:

The parties listed were notified by mail on January 27, 2021. There were no responses to the mailing.

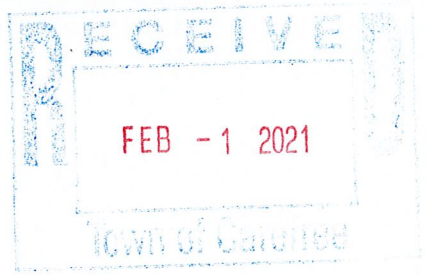


Tyler S. Green · Architect

11480 n. 85th st. scottsdale, arizona 85260 480-348-269

January 27, 2021

RE: 1108 and 1110 Ocotillo Circle
APN: 216-33-101 and 102
Variance Case Numbers 20-12-V and 20-13-V



TO: All Property Owners within 500' of Subject Property

As part of the mandatory Citizen Participation procedures for Variance review in the Town of Carefree, all surrounding property owners within 500 feet of the subject property must be notified by the applicant. Therefore, we are advising you of applications for variances for the Bickle Residence at 1110 Ocotillo Circle and the Agnitsch-Sallee Residence at 1108 Ocotillo Circle.

We are asking for a variance for each home to build a golf cart garage that would increase the lot coverage to 53%. We believe that this application for a variance from the setback requirements should be approved for the following reasons:

1. A property hardship is created by the facts that the lot is undersized for the zoning. The lot area is 7,800 sq. ft. where 18,000 sq. ft. is required by the zoning.
2. The garage addition is small and is built in an inset area in the home. It will hardly be noticed.
3. The proposal has been approved by The Boulders Homeowners' Association.

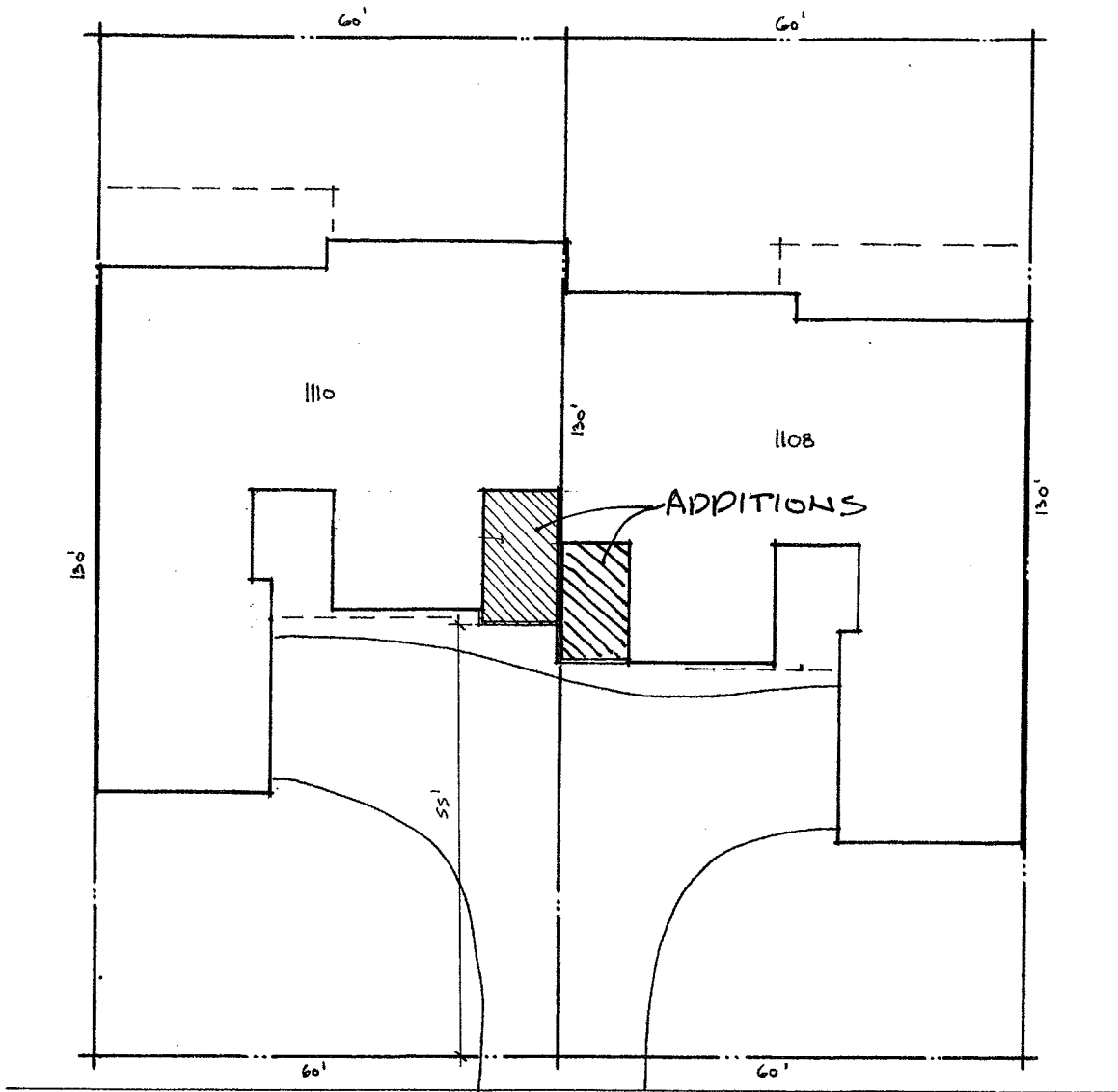
Please contact me if you would like to discuss this proposal. You may also respond to the Carefree Planning and Zoning Department in writing, in person or by telephone at 480-488-3686. No response is necessary if you do not have any comments or objections.

Sincerely,

Tyler Green

mobile: 602-697-4246
e-mail: TSGreen@aol.com





OCOTILLO CIRCLE

**PROPERTIES WITHIN 500' OF
1110 OCOTILLO CIRCLE
216-33-101
20-12-V**



APN	PROPERTY OWNER/MAILING ADDRESS	PROPERTY ADDRESS
216-33-074B	BOULDERS HOMEOWNERS ASSOC	LOT 1001
216-33-133A	8360 E VIA DE VENTURA BLVD STE L-100 SCOTTSDALE AZ 85258	1000 BOULDER DR CAREFREE
216-33-076	ADVANCED BUSINESS LEARNING 401 K PROFIT SHARI 1007 N BOULDER DR CAREFREE AZ 85377	LOT 1201 1004 BOULDER DR CAREFREE
216-33-077	GERALD AND SARAH BERNSTEIN REVOCABLE TRUST 15912 75TH PL WEST EDMONDS WA 98026	LOT 1202 1006 BOULDER DR CAREFREE

**PROPERTIES WITHIN 500' OF
1110 OCOTILLO CIRCLE
216-33-101
20-12-V**

216-33-078A	THOMAS GABRIELLE F PO BOX 5553 CAREFREE AZ 85377	LOT 1203 1102 OCOTILLO CIR CAREFREE
216-33-079A	LOCASCIO JOHN V/RITA M 7914 OAK KNOLL LN PALOS HEIGHTSIL 60463	LOT 1204 1104 OCOTILLO CIR CAREFREE
216-33-080A 216-33-081B	BARBARA L KARR 2011 RESTATED TRUST 44671 WHIPPLE ROAD POMCROY OH 45769	LOT 1205/1206 1103 OCOTILLO CIR 1008 BOULDER DR CAREFREE
216-33-082A	LELAND DAVID LOT 361 WAIHAILA RD COLUMBUS OH 43202	LOT 1207 1010 BOULDER DR CAREFREE
216-33-083	STEELE KATHY K 2901 N SELKIRK DR BOISE ID 83702	LOT 1208 1012 BOULDER DR CAREFREE
216-33-084	SURVIVORS TRUST OF REVOCABLE LIVING TRUST AGR PO BOX 992 CAREFREE AZ 85377	LOT 1209 1111 OCOTILLO CIR CAREFREE
216-33-085	AIKIN FAMILY TRUST 7100 E CAVE CREEK RD UNIT 110 CAVE CREEK AZ 85331	LOT 1210 1115 OCOTILLO CIR CAREFREE
216-33-086	JAMES J GROGAN AND LYNN GROGAN TRUST 1119 E OCOTILLO CIR CAREFREE AZ 85377	LOT 1211 1119 OCOTILLO CIR CAREFREE
216-33-087	BOSTRUP MICHELLE/PAGNUCCO PETER/PAUL/RAYMOND PO BOX 113 WACCABUC NY 10597	LOT 1212 1121 OCOTILLO CIR CAREFREE
216-33-088A	TATLOW RICHARD H IV/PATRICIA W TR PO BOX 2018 CAREFREE AZ 85377	LOT 1215 1009 BOULDER DR CAREFREE
216-33-093	MOORHEAD GREGORY/LINDA TR PO BOX 5161 CAREFREE AZ 85377	LOT 1404 1204 MESQUITE DR CAREFREE
216-33-094	JOHN AND LYNNE AMBROSE REVOCABLE LIVING TRUST PO BOX 1393 CAREFREE AZ 85377	LOT 1405 1202 MESQUITE DR CAREFREE
216-33-095E	STARR KENNETH 9212 N 115TH PL SCOTTSDALE AZ 85259	LOT 1406 1200 MESQUITE DR CAREFREE

**PROPERTIES WITHIN 500' OF
1110 OCOTILLO CIRCLE
216-33-101
20-12-V**

216-33-096	ROBERSON JUDITH J TR PO BOX 3151 CAREFREE AZ 85377	LOT 1407 1120 OCOTILLO CIR CAREFREE
216-33-097	FERGUSON LLOYD C/COOK-FERGUSON MARY PO BOX 2183 CAREFREE AZ 85377	LOT 1408 1118 OCOTILLO CIR CAREFREE
216-33-098	LORIMER LINDA KOCH/ELLIS CHARLES DANIEL 55 HIGHLAND ST NEW HAVEN CT 6511	LOT 1409 1116 OCOTILLO CIR CAREFREE
216-33-099	FRASER REVOCABLE TRUST PO BOX 6112 CAREFREE AZ 85377	LOT 1410 1114 OCOTILLO CIR CAREFREE
216-33-100	MICHAELIS JOINT REVOCABLE TRUST PO BOX 5262 CAREFREE AZ 85377	LOT 1411 1112 OCOTILLO CIR CAREFREE
216-33-102	SALLEE JULIE POBOX 956 CAREFREE AZ 85377	LOT 1413 1108 OCOTILLO CIR CAREFREE
216-33-103	LINDA A SMITH REVOCABLE LIVING TRUST 109 ST PAUL DR OTTERTAIL MN 56571	LOT 1414 1106 OCOTILLO CIR CAREFREE
216-33-104	SCHWARZKOPF REVOCABLE JOINT TRUST PO BOX 2800-317 CAREFREE AZ 85377	LOT 1415 1105 OCOTILLO CIR CAREFREE
216-33-105	BUSCHAVEN 1990 FAMILY TRUST 3002 IRONWOOD RD CAREFREE AZ 85377	LOT 1416 1107 OCOTILLO CIR CAREFREE
216-33-106 216-33-107	ROBERT A AND VANNE S COWIE TRUST PO BOX 1354 CHICAGO IL 60690	LOT 1417/1418 1123/1125 OCOTILLO CIRCLE CAREFREE
216-33-108	SULLIVAN JOHN/MEREDITH KEY PO BOX 1283 LIVINGSTON MT 59047	LOT 1419 1127 OCOTILLO CIR CAREFREE
216-33-109	JERRY A FARMER AND CHARLENE G FARMER REV TR PO BOX 2800-331 CAREFREE AZ 85377	LOT 1420 1018 BOULDER DR CAREFREE
216-33-110A	KEITH A AND KATHY M CAMPBELL LIVING TRUST 630 VETERANS BLVD NO 562 REDWOOD CITY CA 94063	LOT 1421 1016 BOULDER DR CAREFREE

**PROPERTIES WITHIN 500' OF
1110 OCOTILLO CIRCLE
216-33-101
20-12-V**

216-33-121A	MCELDOWNEY ROGER L/VIRGINIA C 44 VIA PINTO DR WILLIAMSVILLE NY 14221	LOT 1432 1007 BOULDER DR CAREFREE
216-33-125A 216-33-126C 216-33-464B	CP BOULDERS LLC 740 CENTRE VIEW BLVD CRESTVIEW HILLS KY 41017	LOT 100 36200 N 76 TH ST CAREFREE
216-83-160	DRAKE FAMILY TRUST PO BOX 1356 CAREFREE AZ 85377-1356	LOT 160 7446 E STAGECOACH PASS CAREFREE
216-83-161	MARSHALL JAMES W/JANICE T TR PO BOX 2421 CAREFREE AZ 85377	LOT 161 7424 E STAGECOACH PASS CAREFREE
	TOWN OF CAREFREE PO BOX 740 CAREFREE AZ 85377	

BOULDERS HOMEOWNERS ASSOC
8360 E VIA DE VENTURA BLVD STE L-
100
SCOTTSDALE AZ 85258

ADVANCED BUSINESS LEARNING
1007 N BOULDER DR
CAREFREE AZ 85377

GERALD AND SARAH BERNSTEIN
REVOCABLE TRUST
15912 75TH PL
WESTEDMONDS WA 98026

THOMAS GABRIELLE F
PO BOX 5553
CAREFREE AZ 85377

LOCASCIO JOHN V/RITA M
7914 OAK KNOLL LN
PALOS HEIGHTSIL60463

BARBARA L KARR 2011 RESTATED
TRUST
44671 WHIPPLE ROAD
POMCROY OH 45769

S RAY KARR 2011 RESTATED TRUST
44671 WIPPLE RD
POMEROY OH 45769

LELAND DAVID
361 WAIHAILA RD
COLUMBUS OH 43202

STEELE KATHY K
2901 N SELKIRK DR
BOISE ID 83702

SURVIVORS TRUST OF REVOCABLE
LIVING TRUST AGR
PO BOX 992
CAREFREE AZ 85377

AIKIN FAMILY TRUST
7100 E CAVE CREEK RD UNIT 110
CAVE CREEK AZ 85331

JAMES J GROGAN AND LYNN GROGAN
TRUST
1119 E OCOTILLO CIR
CAREFREE AZ 85377

BOSTRUP MICHELLE/PAGNUCCO
PETER/PAUL/RAYMOND
PO BOX 113
WACCABUC NY 10597

TATLOW RICHARD H IV/PATRICIA W TR
PO BOX 2018
CAREFREE AZ 85377

MOORHEAD GREGORY/LINDA TR
PO BOX 5161
CAREFREE A 85377

JOHN AND LYNNE AMBROSE
REVOCABLE LIVING TRUST
PO BOX 1393
CAREFREE AZ 85377

STARR KENNETH
9212 N 115TH PL
SCOTTSDALE AZ 85259

ROBERSON JUDITH J TR
PO BOX 3151
CAREFREE AZ 85377

FERGUSON LLOYD C/COOK-FERGUSON
MARY
PO BOX 2183
CAREFREE AZ 85377

LORIMER LINDA KOCH/ELLIS CHARLES
DANIEL
55 HIGHLAND ST
NEW HAVEN CT 6511

FRASER REVOCABLE TRUST
PO BOX 6112
CAREFREE AZ 85377

MICHAELIS JOINT REVOCABLE TRUST
PO BOX 5262
CAREFREE AZ 85377

BICKLE LIVING TRUST
PO BOX 2990
CAREFREE AZ 85377

SALLEE JULIE
POBOX 956
CAREFREE AZ 85377

LINDA A SMITH REVOCABLE LIVING
TRUST
109 ST PAUL DR
OTTERTAIL MN 56571

SCHWARZKOPF REVOCABLE JOINT
TRUST
PO BOX 2800-317
CAREFREE AZ 85377

BUSCHAVEN 1990 FAMILY TRUST
3002 IRONWOOD RD
CAREFREE AZ 85377

ROBERT A AND VANNE S COWIE TRUST
PO BOX 1354
CHICAGO IL 60690

TOWN OF CAREFREE
PO BOX 740
CAREFREE AZ 85377

SULLIVAN JOHN/MEREDITH KEY
PO BOX 1283
LIVINGSTON MT 59047

JERRY A FARMER AND CHARLENE G
FARMER REV TR
PO BOX 2800-331
CAREFREE AZ 85377

KEITH A AND KATHY M CAMPBELL
LIVING TRUST
630 VETERANS BLVD NO 562
REDWOOD CITY CA 94063

MCELDOWNEY ROGER L/VIRGINIA C
44 VIA PINTO DR
WILLIAMSVILLE NY 14221

CP BOULDERS LLC
740 CENTRE VIEW BLVD
CRESTVIEW HILLS KY 41017

BOULDERS HOMEOWNERS ASSOC
8360 E VIA DE VENTURA BLVD STE L-
100
SCOTTSDALE AZ 85258

DRAKE FAMILY TRUST
PO BOX 1356
CAREFREE AZ 85377-1356

MARSHALL JAMES W/JANICE T TR
PO BOX 2421
CAREFREE AZ 85377

Narrative for The Bickle Residence Variance

1110 Ocotillo Circle

August 12, 2020

I am writing regarding the variance application for the Bickle Residence at 1110 Ocotillo Circle. We are asking for a variance to build a small golf cart garage that would increase the lot coverage to 53% where 25% is allowed.

We believe that this application for a variance from the lot coverage requirements should be approved for the following reasons:

1. A property hardship is created by the fact that the lot is severely undersized for the zoning. The lot area is 7800 sq. ft. where 18,000 sq. ft. is required by the zoning.
2. If the lot was properly sized this addition could be easily built without a variance.
3. The garage addition is small and in an inset area of the home. It will be hardly noticed.
4. The proposal has been approved by The Boulders Homeowners' Association.
5. Approval of the application would not constitute a special privilege, but would allow the property owner to use the home as others in the neighborhood do. Other homeowners have added golf cart garages.
6. The hardship in this case is not self imposed. The home was built on this undersized property years ago, long before the current owners had the property. The hardship also did not arise out of a misunderstanding or mistake.
7. The application is in harmony with the intent of the zoning ordinance as the variance from the lot coverage requirements does not impose on any neighbors or citizens.

Exhibit D

The Bickle Residence
Golf Cart Garage
1110 Ocotillo Circle
Carefree, Arizona

General Structural Notes

Apply unless otherwise noted on structural drawings

1. CODE:
 - a. All construction shall comply with the current adopted Code.
2. SHOP DRAWINGS:
 - a. The following drawings and calculations, where applicable, are required for submittal for structural review:
 - i. none
 - ii. It is the contractor's responsibility to check all shop drawings prior to submittal.
 - iii. Concrete mix designs shall be prepared or certified to conform to ACI Code by an independent testing laboratory prior to submittal.
 - iv. Any engineering submitted for review shall be appropriately sealed. Full responsibility for such engineering rests with the person sealing the work.
3. FOUNDATIONS:
 - a. Foundations shall bear on firm, undisturbed or compacted soil at 1'-6" minimum below finish or natural grade, whichever is lower. For interior footings finish floor is considered as finish grade. Allowable bearing is 1500 p.s.f.
 - b. Footing excavations shall be inspected and approved by the soils engineer before reinforcing steel or concrete are placed.
4. CONCRETE:
 - a. Shall meet all the requirements of ACI 301-84 with Type II cement. Minimum 28 day strength 2,500 p.s.i. Each yard of concrete shall contain 5 sacks minimum of Portland Cement, and shall not be reduced due to the addition of fly ash. No admixtures without approval. Concrete shall not be in contact with aluminum. Mechanically vibrate all concrete when placed, except slab on grade. Slump, 4-1/2 inches. The contractor shall fix all cracks and displacements larger than 1/16" up to project completion.
5. REINFORCING:
 - a. CRSI Manual and ACI Detailing Manual apply. ASTM A-615 Grade 60 deformed except as follows:
 - i. #2 plain - Grade 40.
 - ii. Wire mesh, flat sheets, plain - A-185.
 - b. Lap splices in masonry shall be 48 diameters.
 - c. Mesh splice: Wire spacing plus 2 inches.
 - d. Lap splices and extensions in concrete: Unless noted otherwise on drawings provide the following lengths: #3 - 18" #4 - 22" #5 - 27" #6 - 33". Minimum clear cover for spliced reinforcing is greater than one bar diameter and minimum clear spacing is greater than two bar diameters. Provide bent corner rebar to match and lap with horizontal rebars at corners and intersection of walls, beams and footings per ACI Manual. Dowel all vertical rebar to foundations. Provide clearance coverages per ACI Code.
6. MASONRY:
 - a. The Arizona Masonry Guild specifications apply. Brick units 2,500 p.s.i. minimum. Block units, grade N-1, running bond, mortar Type S, grout 2,000 p.s.i. Rod and regout in vertical spaces. Maximum grout fill without cleanouts: 4'-0" in block walls.
 - b. See Architectural Drawings for expansion or control joints. However, the spacing shall not exceed 20 feet. Do not locate a joint less than 2'-0" from bearing of beam or lintel.
 - c. Dowel above rebar to foundation. All additional rebar of jamps and bearings shown on the drawings need not dowel.
 - d. 8" Wall Vertical Reinforcing: In center of grout, minimum 2" x 3" grout core, at center of wall, continuous full height of wall as follows:
 - i. #5 at all corners, intersections, wall ends, jamps and each side of joints.
 - ii. #5 at 48" on center elsewhere, unless noted on plans.
 - e. Horizontal Reinforcing: In minimum 8" deep grouted bond beam, (2) #5 at top of parapets and structurally connected roofs. Provide ladder type #9 joint reinforcing at 16" on center. Place bond beam bars at roof and floor lines continuous through joints. Cut other bars and joint reinforcing at wall joints.
 - f. Wall Openings: Minimum (1) #4 in 8" bond beam above and below openings extending 24" beyond jamps unless shown otherwise on the plans.
9. WOOD:
 - a. General: Comply with International Building Code standards. All lumber pieces, in place, shall be grade stamped.
 - b. Sawn Lumber: West Coast Douglas Fir, unless noted otherwise.
 - c. Posts and 4x and 6x Beams: NO. 1 DF-L.
 - d. Built-up Beams and Headers: No. 2 DF-L or Hem Fir No. 2.
 - e. Studs: Stud Grade or Hem Fir Stud Grade, 2x4 at 16" o.c.
 - f. Glulam Beams: West Coast Douglas Fir with 24F-V3 combination stress grade, except beams at cantilever conditions shall have 24F-V8 combination symbol. Materials, manufacture and quality control per PS 56-73, except that the moisture content at the time of manufacture shall not exceed 11 percent. Fabrication and handling by AIFC licensed fabricator, per latest AIFC standards. Beams to bear AIFC quality mark. Use wet service condition adhesive. Beams to be architectural grade, load wrapped.
 - g. Contractor shall provide built-up posts in the wall to match width of all framing beams or girders. Face nail each stud in built-up post to adjacent stud with one row of 16d nailing, staggered at 8 inches o.c.
 - h. See jamb framing detail for jamb framing.
 - i. For non-bearing openings up to 8'-0", (2) 2x with depth in inches to be equal to or greater than the opening width in feet.
10. ROOF SHEATHING:
 - a. Use 1/2" A.P.A. rated 2-M-W with exterior glue, PS 1-83, 32/16 span index. Panel edges shall bear on the framing member and butt along their center line. Stagger joints. Fasten sheathing with 10d common or 0.131" x 2" p-nails all installed per NER-272. Fastener spacing shall be 6" o.c. at diaphragm boundary nailing and at supported panel edges and 12" o.c. at intermediate supports including each of any multiple members. Minimum edge distance 3/8". Lay up with face grain perpendicular to supports.
11. WALL SHEATHING:
 - a. Use 3/8" plywood, C-D with exterior glue or 3/8" minimum A.P.A. rated 2-M-W with exterior glue, PS 1-83. Panel edges shall butt along framing member center line. Fasten sheathing with 8d common or 0.131" x 2" p-nails all installed per NER-272. Fastener spacing shall be 6" o.c. at panel edges and 12" o.c. at intermediate supports including each of any multiple members. Minimum edge distance 3/8". Block all unframed panel edges.
13. CONNECTIONS:
 - a. All framed connections shall be made with framing anchors each side of joist hangers, by "Simpson" or approved equal, appropriate for the member for upward and downward loads, in accordance with current I.C.C. reports. For Nailing Schedule see Code. All nails noted on the plans and details are common type nails. Field drill all holes for proper matching and bearing.
16. SUPPLEMENTARY NOTES:
 - a. Provide all temporary bracing, shoring, guying or other means to avoid excessive stress and to hold structural elements in place during construction.
 - b. Any members required to support equipment from the framing shown shall be designed and provided by the equipment contractor.
 - c. Any engineering design provided by others and submitted for review shall bear the seal of a Structural Engineer registered in Arizona. Shore all foundation retaining walls to prevent lateral movement while backfill is being placed and until the floor slab and reinforcement are placed and have cured a minimum of 14 days.
 - d. Unless noted otherwise, details on structural drawings are typical as indicated by cuts, references or titles.

Sheet Index

- a1 site plan
building data
- a2 floor plan
building elevation
building section
details
- a3 foundation plan
roof framing plan
roof drain plan
electrical plan

Building Data

Owner: John and Lyn Bickle
1110 Ocotillo Circle
Carefree, Arizona 85377

Site: 1110 Ocotillo Circle
Lot 1412, Boulders Carefree Unit 1

Parcel No.: 216-33-101

Zoning: R1-18

Lot Area: 7,800 sq. ft.

Existing Under Roof: 4,004 sq. ft.

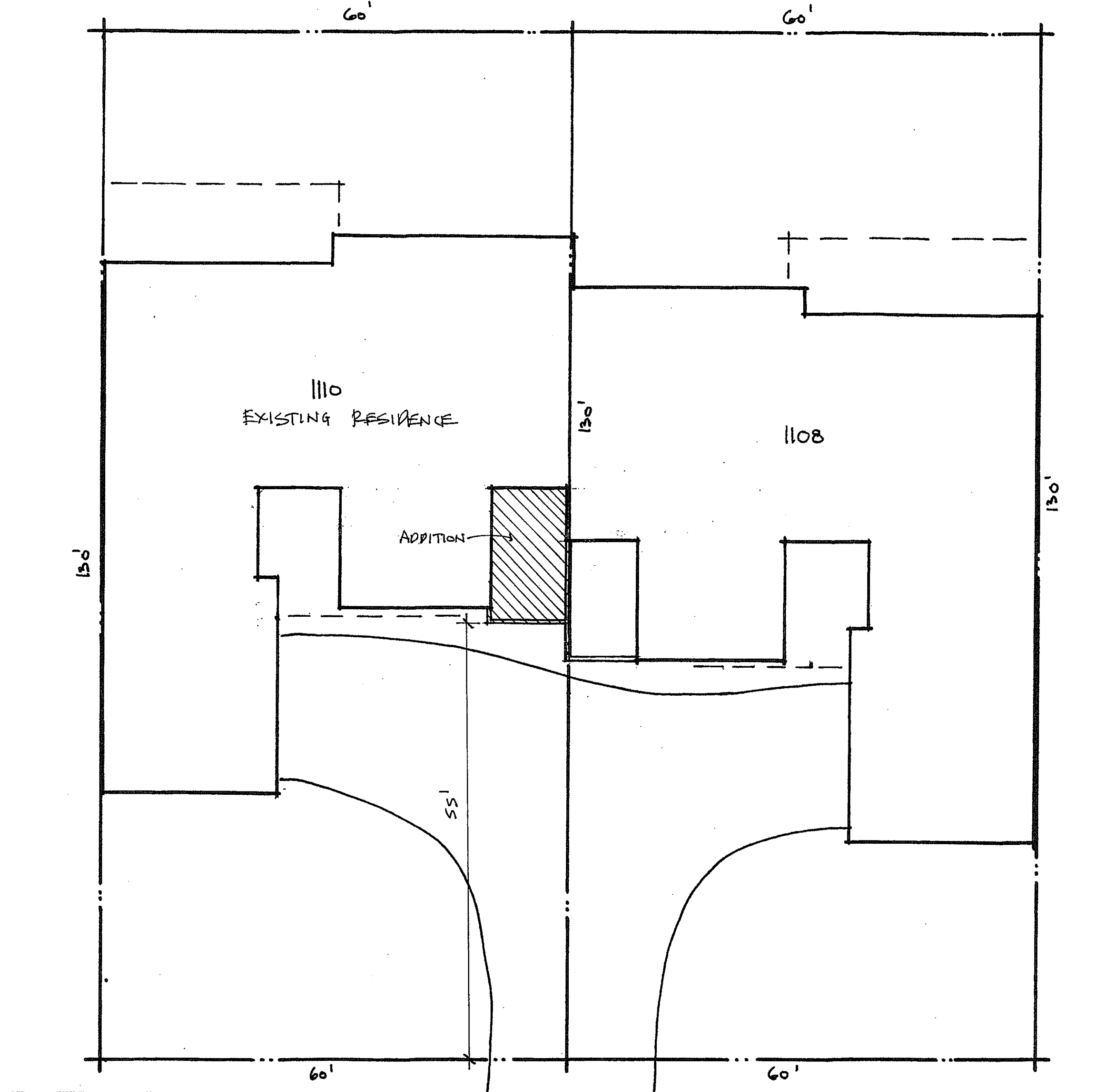
Garage Addition: 154 sq. ft.

Proposed Lot Coverage: 4158 sq. ft. - 53.3%

Codes

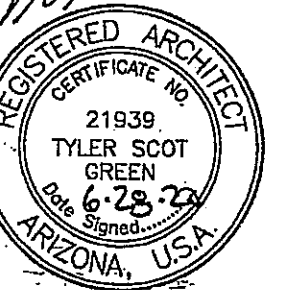
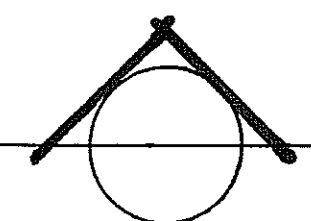
All construction shall comply with the following codes:

- 2003 International Building Code and Amendments
- 2003 International Residential Code and Amendments
- 1994 Uniform Plumbing Code and Amendments
- 2002 National Electrical Code and Amendments
- 2003 International Mechanical Code and Amendments
- 2003 International Fire Code and Amendments



site plan

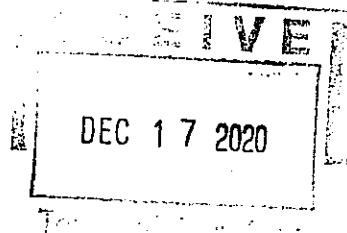
1" = 10'



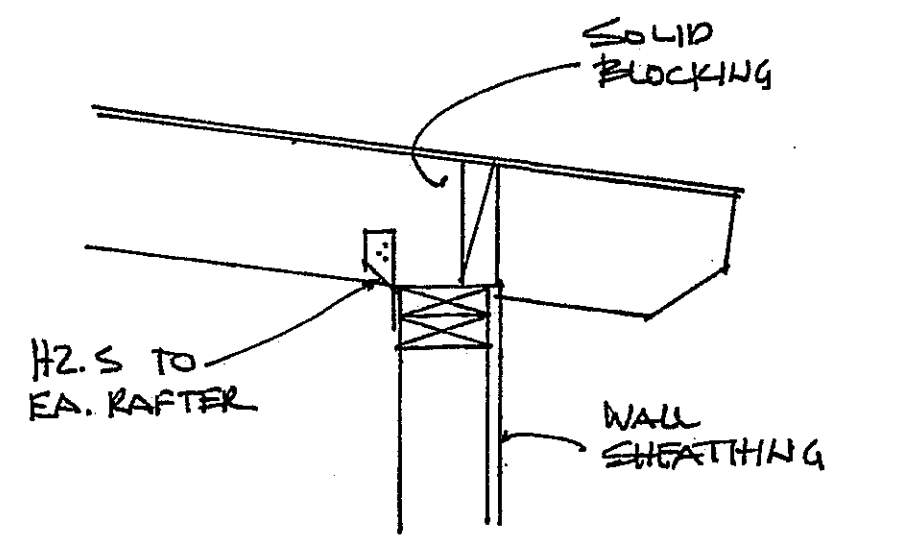
Tyler S. Green - Architect
11480 N. 85th Street Scottsdale, Arizona 85260
480-348-2691

Date: 6-28-20

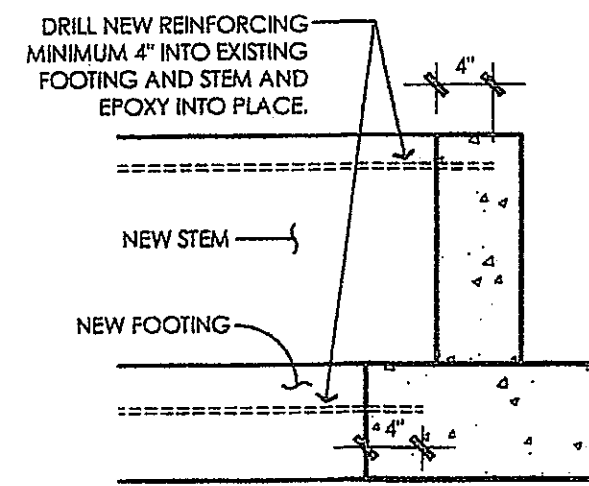
Revisions: 12-15-20



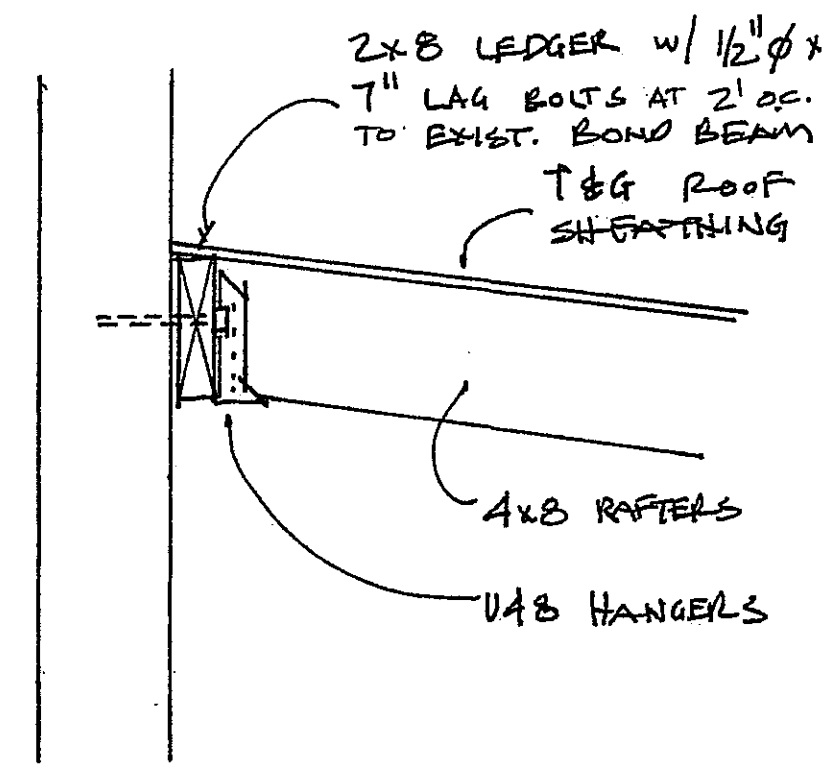
a1



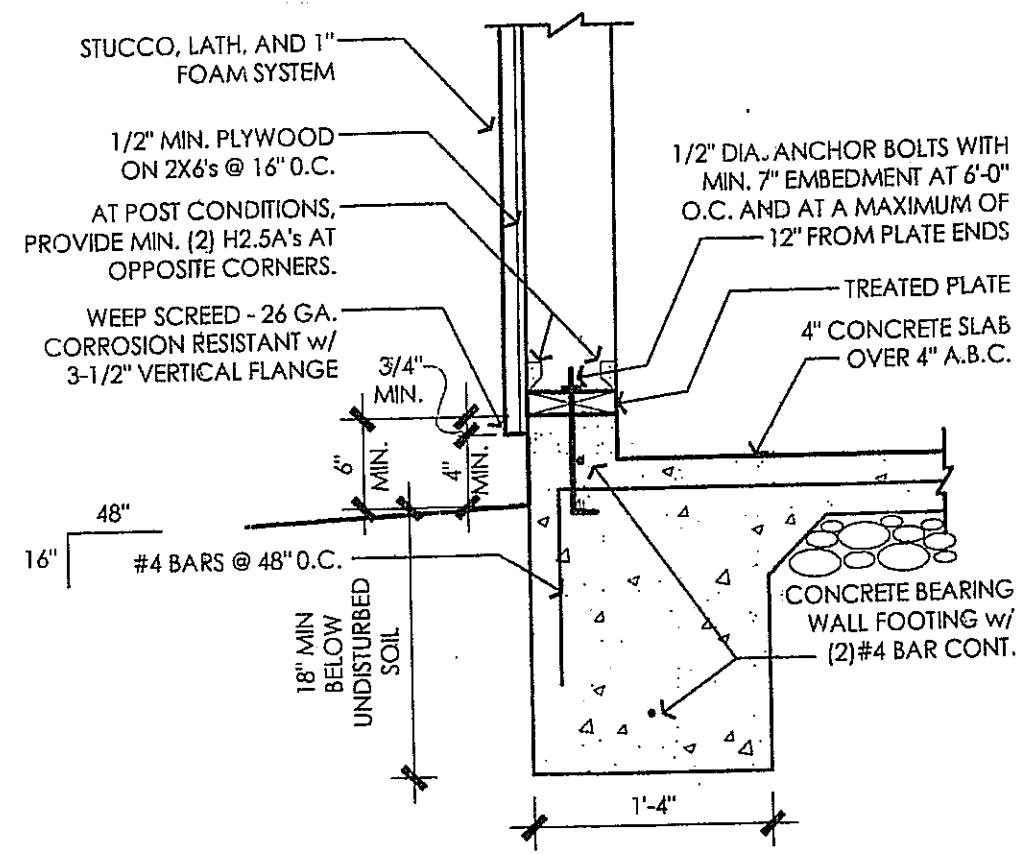
4 BEARING
1 1/2" = 1'-0"



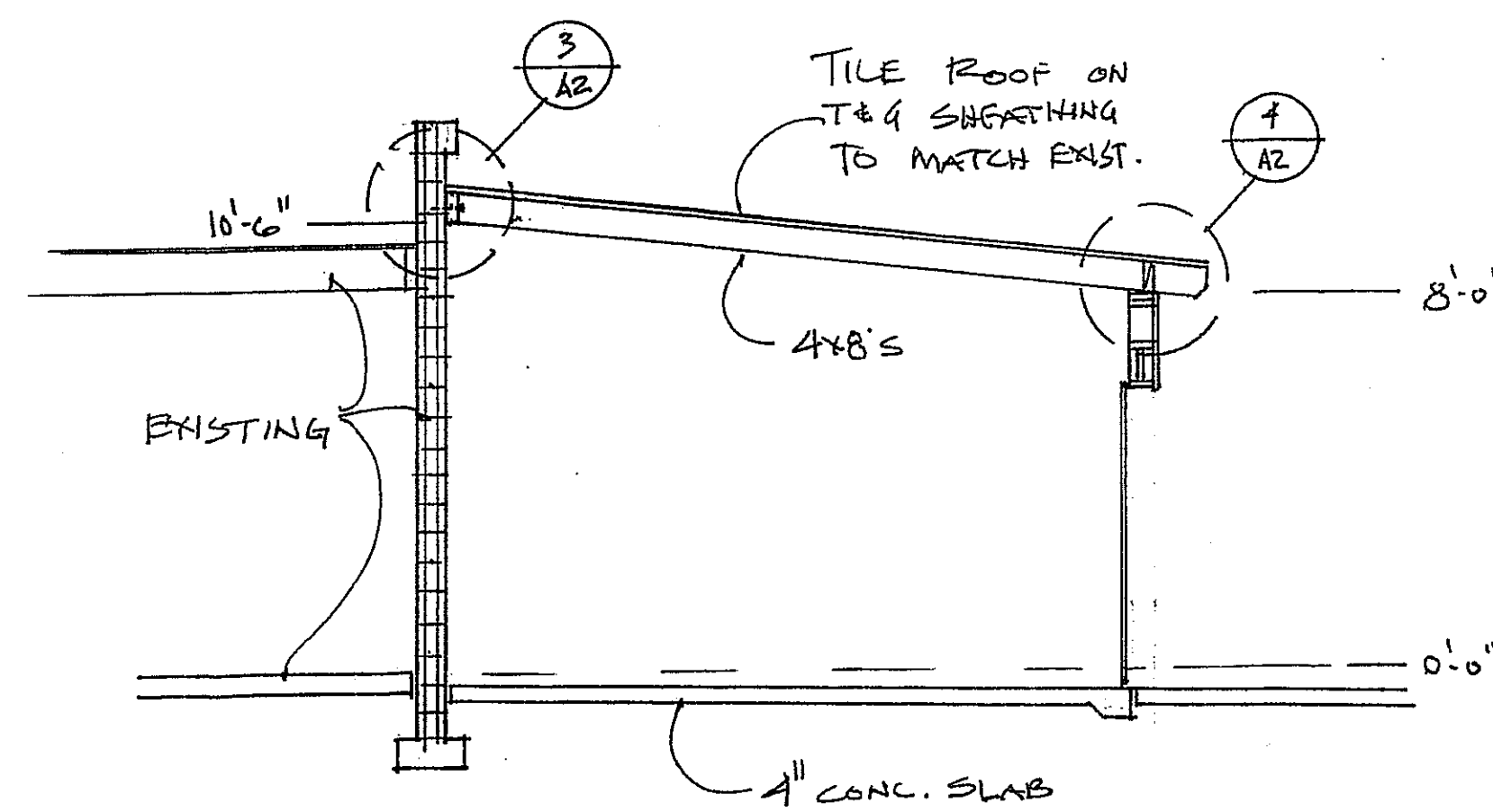
2 Stem and Footing Dowel
GDC-36 scale: 1" = 1'-0"



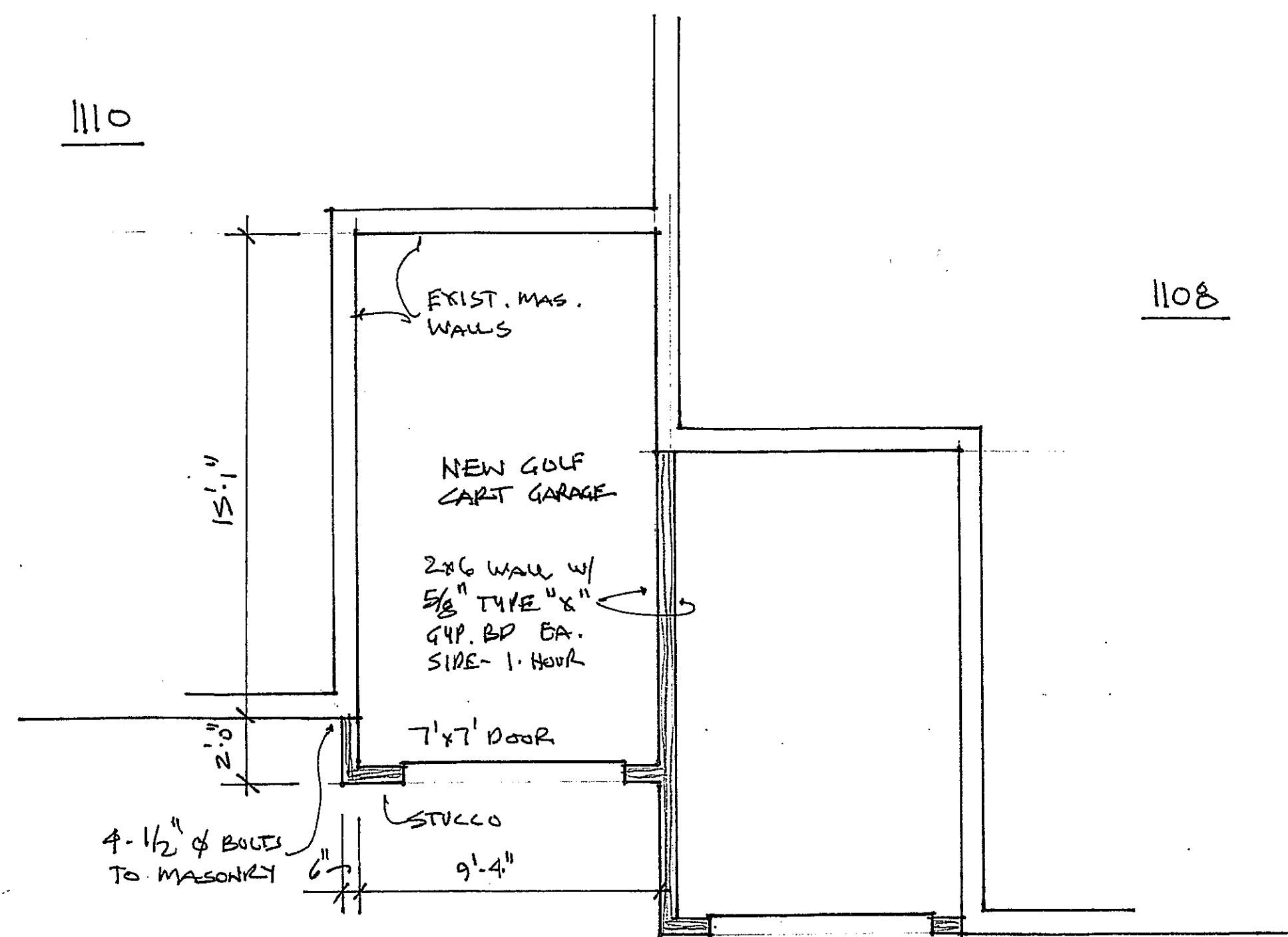
3 LEDGER
1 1/2" = 1'-0"



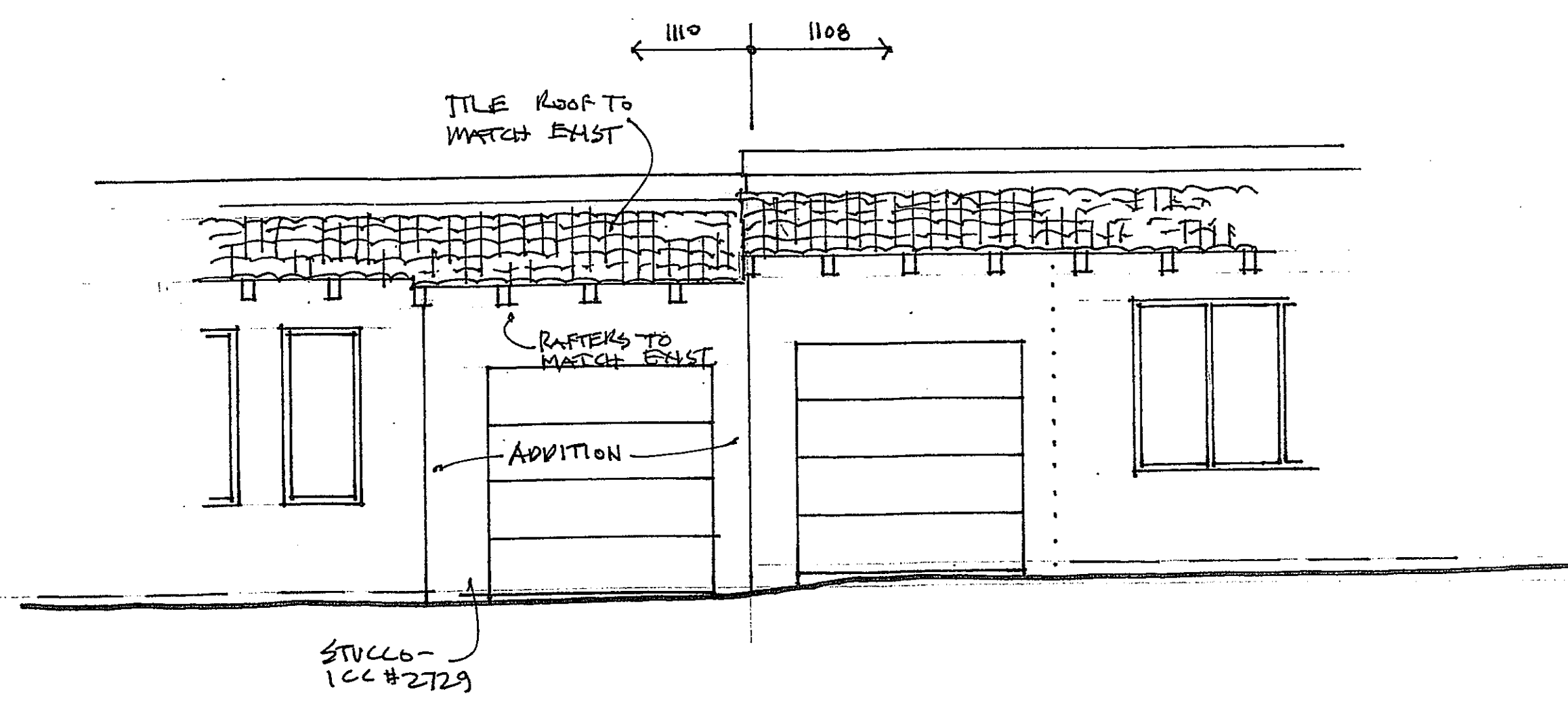
1 Footing at Exterior Wall
GDC-08-MOD scale: 1" = 1'-0"



building section
1/4" = 1' 0"



floor plan
1/4" = 1' 0"



front elevation
1/4" = 1' 0"

The Bickle Residence
Golf Cart Garage
1110 Ocotillo Circle
Carefree, Arizona



Tyler Scott Green - Architect
11480 West Scottsdale, Arizona 85260
480-348-2691

Date: 6-28-20
Revisions:

a2



STAFF REPORT – Board of Adjustment

MEETING DATE: MARCH 8, 2021

Item No. 3

SUBJECT

Zoning Variance, Case No. 20-13-V

REQUEST

This is a request for variances to *Article VI. Intensity Schedule and Development Standards* of the Zoning Ordinance on a legal non-conforming lot to allow for the construction of a small garage addition within portions of the side building setback where such structures are not allowed and an increase in lot coverage. The request is as follows:

- 1) Allow encroachment of 10 feet into the required 10-foot west side yard setback for building addition.
- 2) Allow a lot coverage area of 4,140 square feet (53.1%), whereas the Ordinance only allows a maximum of 25% lot coverage for various building additions.

Key Items for Consideration:

- 1) Subject property location: 1108 Ocotillo Circle, Lot 1413 of The Boulders Carefree Unit I Replat.
- 2) Proposal includes a minor addition to add a small golf cart garage.
- 3) Existing legal nonconforming features include the following:
 - a) Encroachment into the side and front building setbacks for the existing residence.
 - b) 51.3% existing lot coverage where a maximum of 25% is allowed.
 - c) The lot is undersized (7,800 square feet) according to the R1-18 Single Family Residential development standards.
- 4) As a result of past approvals for similar variances in this area, which were based upon the legal nonconforming status of the properties involved, and pursuant to Arizona Revised Statutes, there are unique circumstances on this lot, also, which support the subject request.
- 5) Citizen participation requirements were met.

**APPLICANT/
OWNER INFO**

Applicant/Architect:
Mr. Tyler Green
11480 N. 85th Street
Scottsdale, AZ 85260

Owner:
Mr. John Agnitsch and Ms. Julie Sallee
1108 Ocotillo Circle
Carefree, AZ 85377

LAND USE

General Plan

The Carefree General Plan designates the subject site and surrounding properties as Low Density Residential (LDR), 1 acre minimum.

Zoning

The zoning for the subject lot and surrounding properties in Carefree is R1-18 (18,000 square foot minimum lot size). Many of the lots in the Carefree Boulders HOA are considered legal nonconforming where lot lines, residences, and structures were established and built prior to the Town's

STAFF REPORT – Board of Adjustment

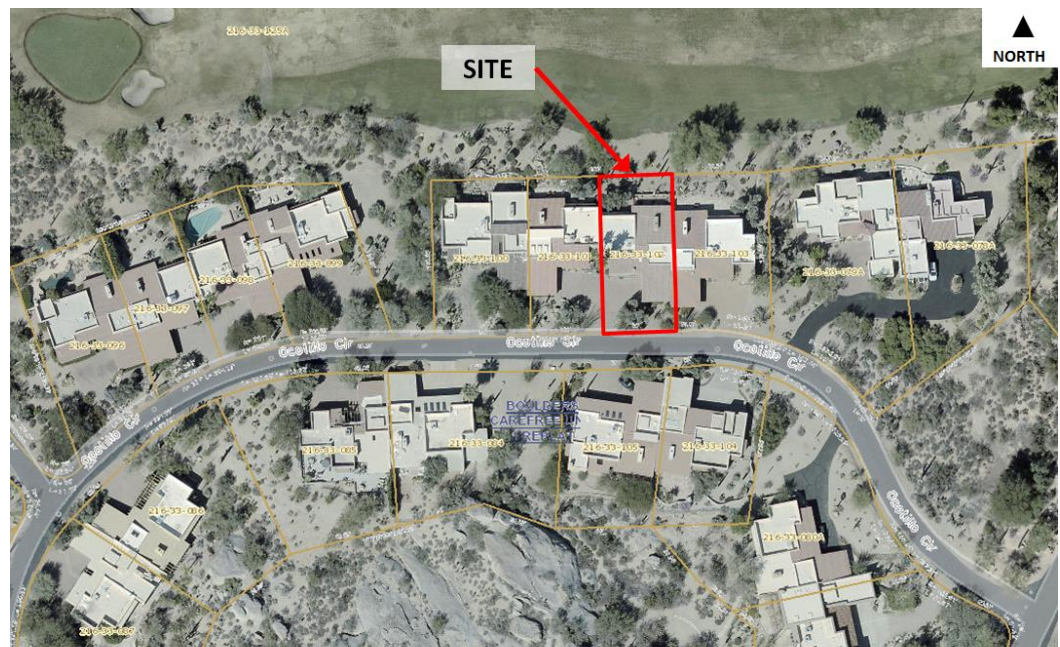
incorporation in 1984, and before the current standards were in place regarding building setbacks and lot coverage. In this case, the home is an attached structure also.

Existing Use

A single-family residence is located on the subject property. Attached single-family residences are east and west of the parcel and open space (right-of-way and golf course property) are north and south of the subject site.

LOCATION

1108 Ocotillo Circle, Lot 1413 of The Boulders Carefree Unit I Replat (MCR: 138-22) APN 216-33-102

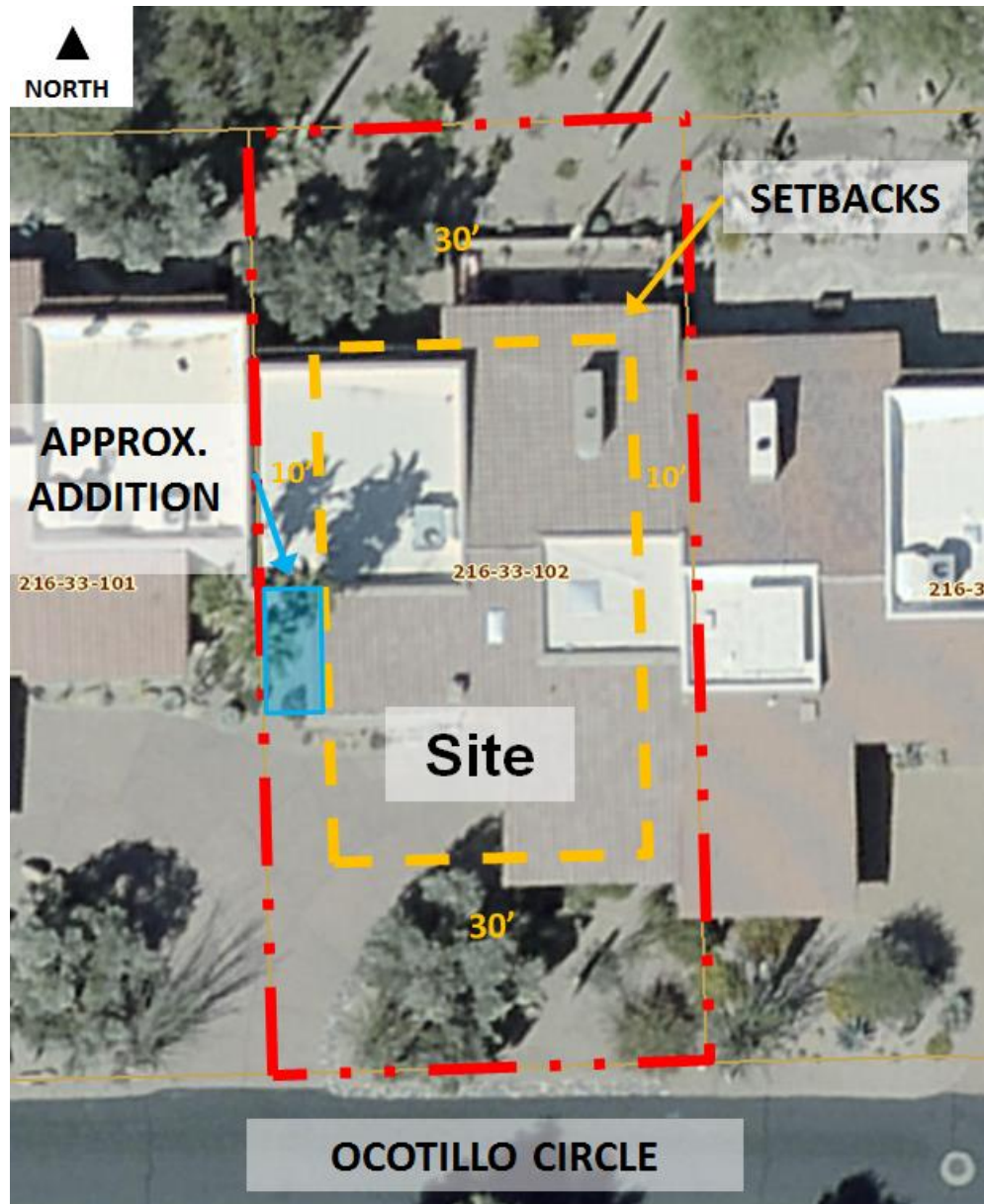


Source: Maricopa County Assessor, 2020

No Scale

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AERIAL MAP



Source: Maricopa County Assessor, 2020

No Scale

ZONING STANDARDS

Zoning Standards

See Table 1 below for a summary of existing conditions and the request.

Table 1. Development Standards

Standard	Required	Project	Variance Required
Lot Area	18,000 sq.ft.	7,800 sq.ft.	No*
Lot Frontage	120 ft.	60 ft.	No*

STAFF REPORT – Board of Adjustment

<u>Setbacks:</u>			
Front	30 ft.	Approx 25 ft.	No*
Rear	30 ft.	Approx 25 ft.	No*
West Side	10 ft.	0 ft.	Yes*
East Side	10 ft.	0 ft.	No*
Max. Lot Coverage	25%	53.1%	Yes *

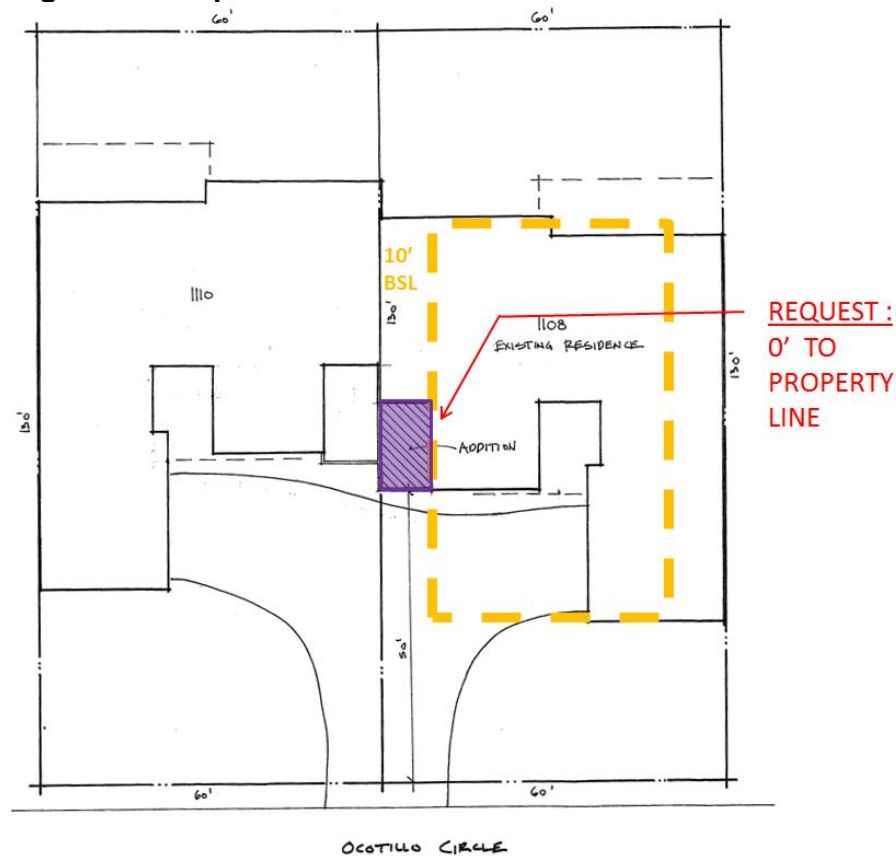
* Legal nonconforming condition.

PROJECT SUMMARY

Summary

Currently, the home is an attached single-family structure with a two-car garage. The proposed square footage and additional roof area are essentially infill to allow for a small, golf cart garage. See Diagram 1 for proposed site plan. The addition is approximately 136 square feet. It is common to see golf cart garages in The Boulders as it's known as an upscale, golf course community.

Diagram 1: Proposed Site Plan



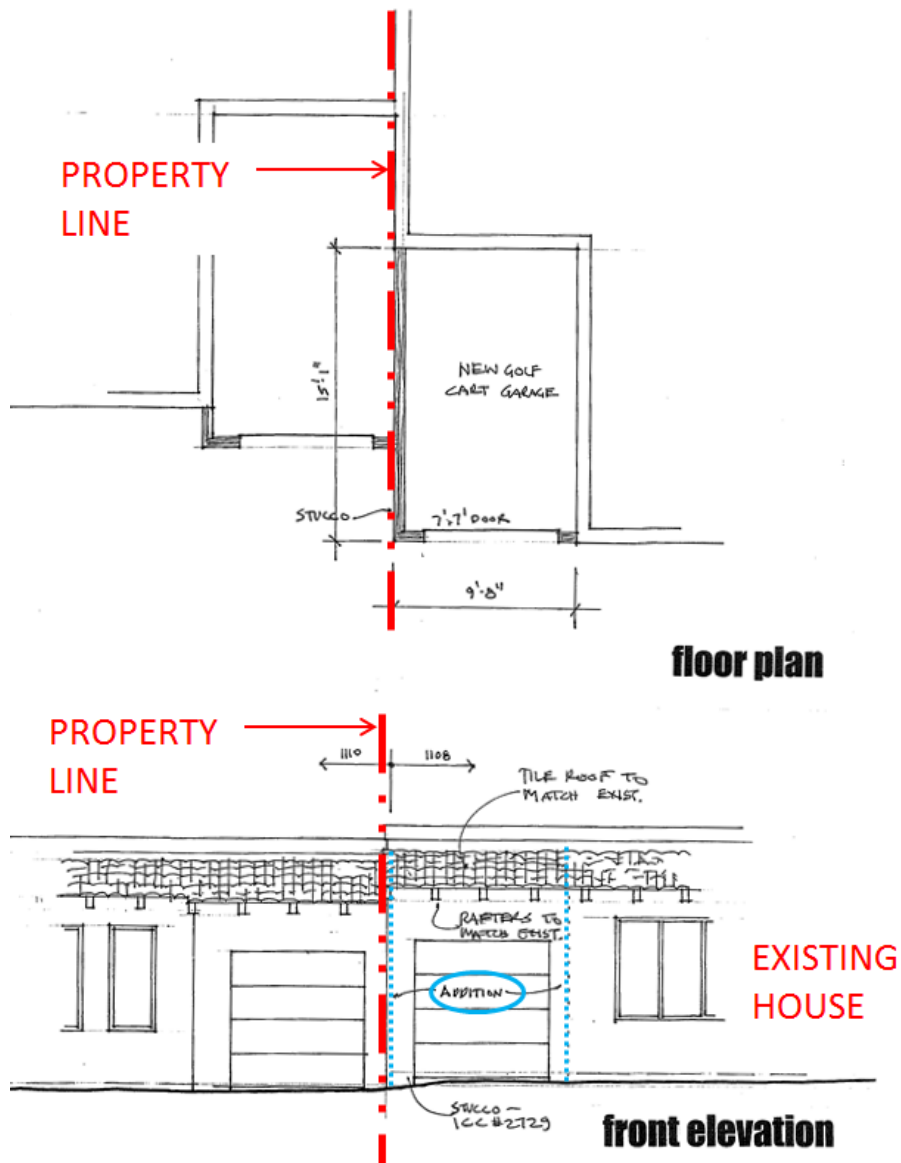
As per above, the home is an attached product with each side connected to another housing unit. Therefore, each side of the home is located in the corresponding side building setback areas by design. See Diagram 2. The west side of the home, where the garage addition is proposed, takes advantage of a vacant space created by a cut-out in the floor plan. No

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protected plants are found in this area. While minor, building in this void does increase the overall square foot under roof of the home, and therefore increases lot coverage. The original lot coverage calculation was a non-conforming condition as well.

According to Maricopa County, the residence was built in 1971, making it a legal nonconforming structure.

Diagram 2: Proposed Floor Plan and Front Elevation



The new elevation blends well with the proposed façade, and carries forward similar color and materials. The overall visual impact to the front elevation is minimal.

According to Article XI Nonconforming Uses, any expansion of a nonconforming feature must comply with current standards. Locating the

STAFF REPORT – Board of Adjustment

addition within the side yard setback and increasing the overall square footage of the structure expands the nonconforming use, where current standards would prohibit them if constructed today. Therefore, these variances are being requested.

Citizen Participation

The applicant has fulfilled the requirements for Citizen Participation. Property owners within 500 feet of the subject lot were notified of this application. No comments were received by the Applicant. Furthermore, no comments were received by the Town prior to the publishing of this report.

VARIANCE CRITERIA

Variance Analysis

The existing size of the property and nature of the residence being a connected housing product constitute conditions unique to the subject property. Therefore, existing site conditions present a situation where it is more difficult for the property owner to comply with the zoning standards than they would for a lot in the same zoning district without the unique nonconforming features. First, the lot is undersized according to the development standards of the R1-18 Zoning District. It is more than 1/2 the required size of a lot platted today with this zoning. In turn, the existing lot coverage calculation exceeds what is permitted today. However, the increase is by 1.8%, therefore nominal. Second, since it is attached unit, it is inherently located in the required building setbacks. Adding on is more complicated and at times limited due to existing floor plan configurations.

The site conditions present a hardship for the property owner, who wishes to undergo a reasonable and minor addition, which was built in its current configuration before the Town was incorporated. The current setbacks and lot coverage maximum would preclude the owner from adding on to his home and improving his property at the proposed location. This condition is not self-imposed.

BOARD OF ADJUSTMENT

State Statutory Requirements

Decisions of the Board of Adjustment must fall within the guidelines of the Arizona Revised Statutes as contained in Title 9-462.06, *Board of Adjustment*.

1. The Board of Adjustment can approve variances only if the following special circumstances and the strict application of the zoning ordinance will deprive the property of privileges enjoyed by other properties in the same zoning district:
 - a) Size
 - b) Shape
 - c) Topography
 - d) Location
 - e) Surroundings
- 2) Variances shall not be granted as a special privilege that is not available to all other properties with the same conditions in the

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same zoning district.

3) Variances may be subject to conditions.

4) The Board of Adjustment may not:

- a) Make any changes in the uses permitted in any zoning classification or zoning district, or make any changes in the terms of the zoning ordinance.
- b) Grant a variance if the special circumstances applicable to the property are self-imposed by the property owner.

Should the Board of Adjustment approve the variance, the conditions for approval attached as Exhibit “A” are provided for consideration.

ATTACHMENTS

- Exhibit A. Conditions for Approval
- Exhibit B. Citizen Participation Report
- Exhibit C. Narrative
- Exhibit D. Plans

EXHIBIT A
Case #20-13-V
CONDITIONS FOR APPROVAL

1108 Ocotillo Circle
Lot 1413 of The Boulders Carefree Unit I Replat
Tax Parcel #216-33-102

1. Three zoning variances are hereby granted to expand a legal nonconforming residential structure and site wall encroaching in the side and rear building setbacks and exceeding lot coverage as follows:
 - a) Allow encroachment of 10 feet into the required 10-foot west side yard setback for building additions; and,
 - b) Allow a lot coverage area of 4,140 square feet (53.1%), whereas the Ordinance only allows a maximum of 25% lot coverage for garage addition.
2. The building permit development plans shall conform to the development plans date-stamped December 17, 2020 submitted in association with this application.
3. The granting of these variances shall be null and void if the building permit is not issued within one year of approval.

Citizen Participation Report

The Agnitsch-Sallee Residence

1108 Ocotillo Circle
Carefree, Arizona 85377

Existing Use of Property: Residence

Request:

Build a golf cart garage that would increase the lot coverage to 53% where 25% is allowed.

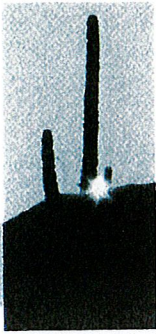
Owner: John Agnitsch and Julie Sallee
1108 Ocotillo Circle
Carefree, Arizona 85377

Applicant: Tyler Green
11480 N. 85th Street
Scottsdale, Arizona 85260
phone: 480-348-2691

Contact: applicant

Responses:

The parties listed were notified by mail on January 27, 2021. There were no responses to the mailing.

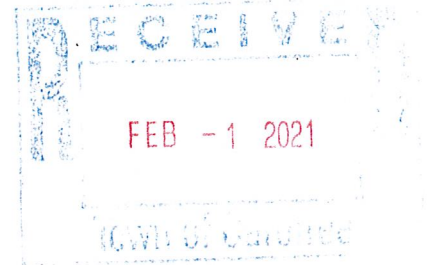


Tyler S. Green · Architect

11480 n. 85th st. scottsdale, arizona 85260 480-348-269

January 27, 2021

RE: 1108 and 1110 Ocotillo Circle
APN: 216-33-101 and 102
Variance Case Numbers 20-12-V and 20-13-V



TO: All Property Owners within 500' of Subject Property

As part of the mandatory Citizen Participation procedures for Variance review in the Town of Carefree, all surrounding property owners within 500 feet of the subject property must be notified by the applicant. Therefore, we are advising you of applications for variances for the Bickle Residence at 1110 Ocotillo Circle and the Agnitsch-Sallee Residence at 1108 Ocotillo Circle.

We are asking for a variance for each home to build a golf cart garage that would increase the lot coverage to 53%. We believe that this application for a variance from the setback requirements should be approved for the following reasons:

1. A property hardship is created by the facts that the lot is undersized for the zoning. The lot area is 7,800 sq. ft. where 18,000 sq. ft. is required by the zoning.
2. The garage addition is small and is built in an inset area in the home. It will hardly be noticed.
3. The proposal has been approved by The Boulders Homeowners' Association.

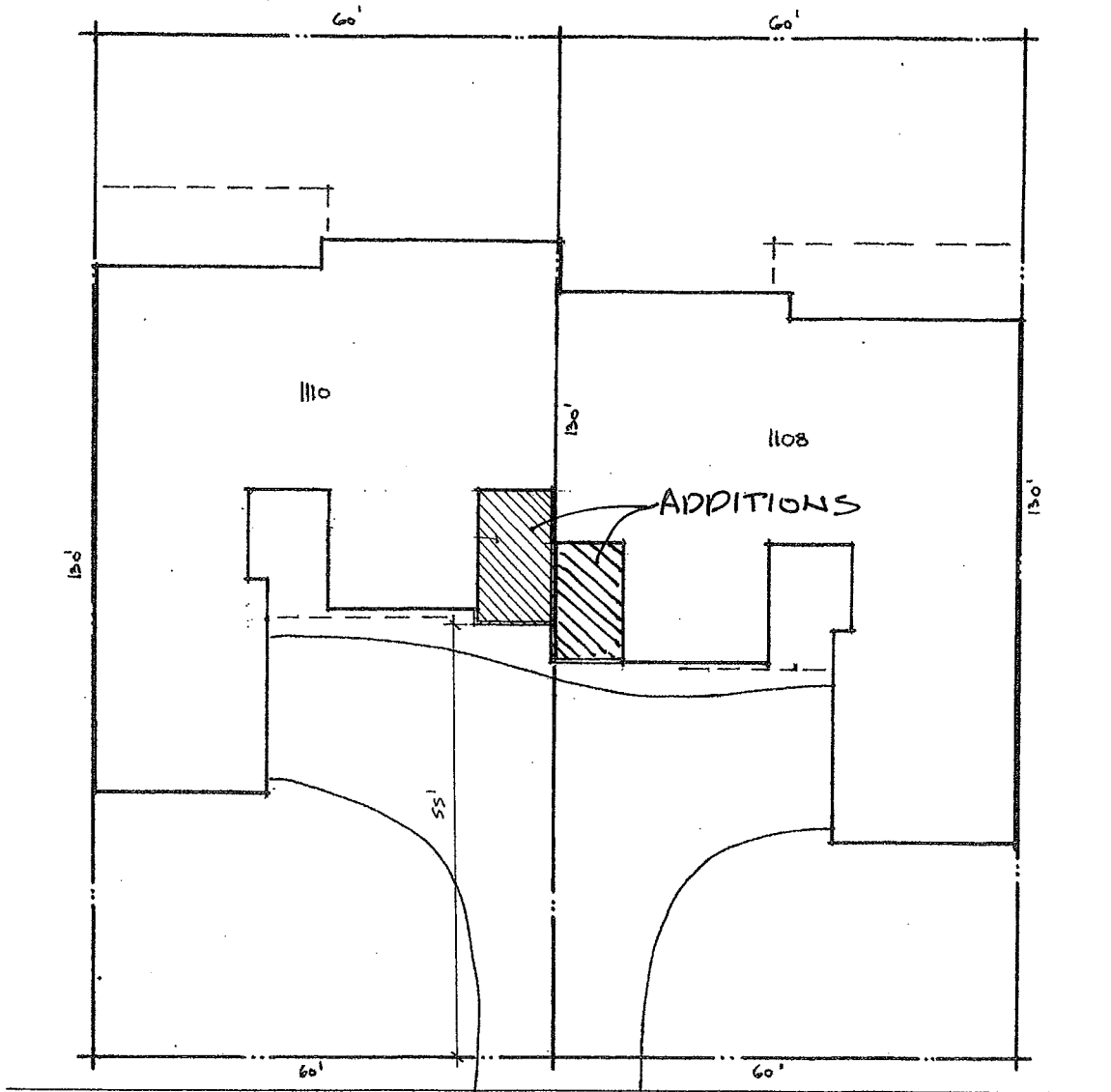
Please contact me if you would like to discuss this proposal. You may also respond to the Carefree Planning and Zoning Department in writing, in person or by telephone at 480-488-3686. No response is necessary if you do not have any comments or objections.

Sincerely,

Tyler Green

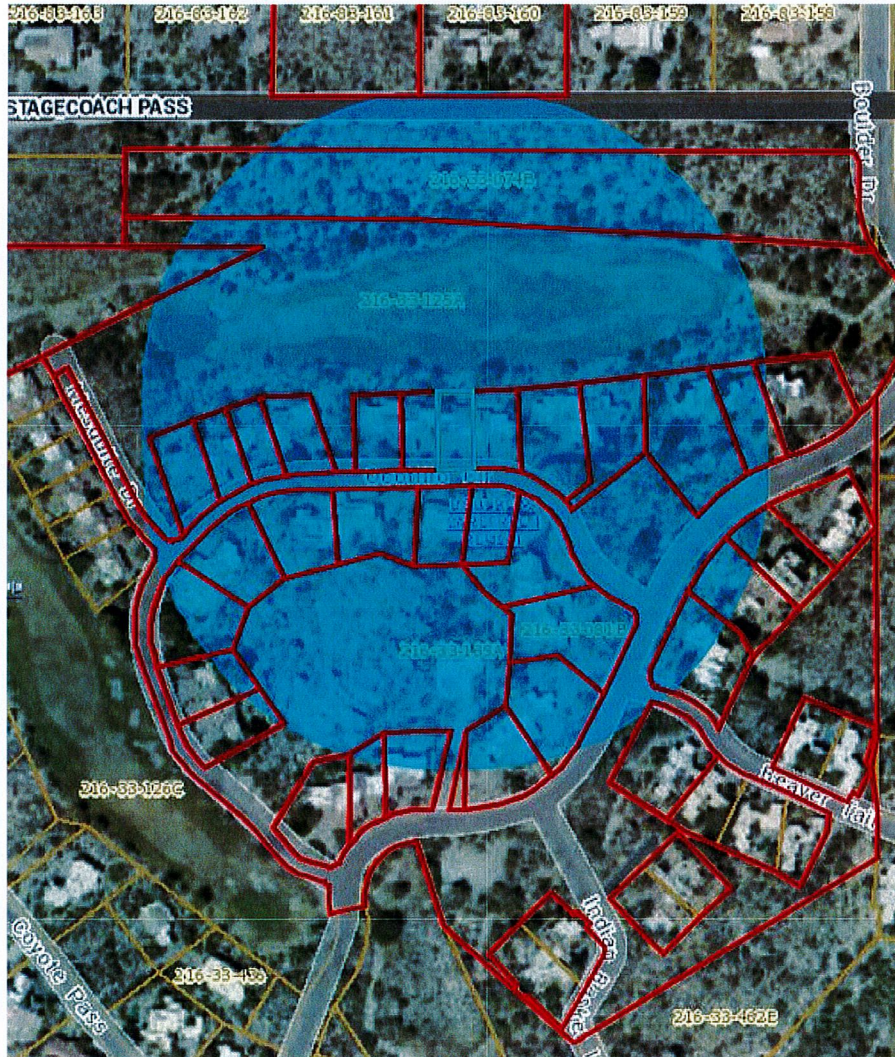
mobile: 602-697-4246
e-mail: TSGreen@aol.com





OCOTILLO CIRCLE

**PROPERTIES WITHIN 500' OF
1108 OCOTILLO CIRCLE
216-33-102
20-13-V**



APN	PROPERTY OWNER/MAILING ADDRESS	PROPERTY ADDRESS
216-33-074B	BOULDERS HOMEOWNERS ASSOC	LOT 1001, LOT 1005
216-33-133A	8360 E VIA DE VENTURA BLVD STE L-100 SCOTTSDALE AZ 85258	1000 & 1005 BOULDER DR CAREFREE

**PROPERTIES WITHIN 500' OF
1108 OCOTILLO CIRCLE
216-33-102
20-13-V**

216-33-075	CRAWFORD ANN DOROTHY CURTIS 1002 E BOULDER DR CAREFREE AZ 85377	LOT 1200 1002 E BOULDER DR CAREFREE
216-33-076	ADVANCED BUSINESS LEARNING 401 K PROFIT SHARI 1007 N BOULDER DR CAREFREE AZ 85377	LOT 1201 1004 BOULDER DR CAREFREE
216-33-077	GERALD AND SARAH BERNSTEIN REVOCABLE TRUST 15912 75TH PL WEST EDMONDS WA 98026	LOT 1202 1006 BOULDER DR CAREFREE
216-33-078A	THOMAS GABRIELLE F PO BOX 5553 CAREFREE AZ 85377	LOT 1203 1102 OCOTILLO CIR CAREFREE
216-33-079A	LOCASCIO JOHN V/RITA M 7914 OAK KNOLL LN PALOS HEIGHTS IL 60463	LOT 1204 1104 OCOTILLO CIR CAREFREE
216-33-080A 216-33-081B	BARBARA L KARR 2011 RESTATED TRUST 44671 WHIPPLE ROAD POMCROY OH 45769	LOT 1205/1206 1103 OCOTILLO CIR 1008 BOULDER DR CAREFREE
216-33-082A	LELAND DAVID LOT 361 WAIHAILA RD COLUMBUS OH 43202	LOT 1207 1010 BOULDER DR CAREFREE
216-33-083	STEELE KATHY K 2901 N SELKIRK DR BOISE ID 83702	LOT 1208 1012 BOULDER DR CAREFREE
216-33-084	SURVIVORS TRUST OF REVOCABLE LIVING TRUST AGR PO BOX 992 CAREFREE AZ 85377	LOT 1209 1111 OCOTILLO CIR CAREFREE
216-33-085	AIKIN FAMILY TRUST 7100 E CAVE CREEK RD UNIT 110 CAVE CREEK AZ 85331	LOT 1210 1115 OCOTILLO CIR CAREFREE
216-33-086	JAMES J GROGAN AND LYNN GROGAN TRUST 1119 E OCOTILLO CIR CAREFREE AZ 85377	LOT 1211 1119 OCOTILLO CIR CAREFREE
216-33-087	BOSTRUP MICHELLE/PAGNUCCO PETER/PAUL/RAYMOND PO BOX 113 WACCABUC NY 10597	LOT 1212 1121 OCOTILLO CIR CAREFREE
216-33-088A	TATLOW RICHARD H IV/PATRICIA W TR PO BOX 2018 CAREFREE AZ 85377	LOT 1215 1009 BOULDER DR CAREFREE

**PROPERTIES WITHIN 500' OF
1108 OCOTILLO CIRCLE
216-33-102
20-13-V**

216-33-094	JOHN AND LYNNE AMBROSE REVOCABLE LIVING TRUST PO BOX 1393 CAREFREE AZ 85377	LOT 1405 1202 MESQUITE DR CAREFREE
216-33-095E	STARR KENNETH 9212 N 115TH PL SCOTTSDALE AZ 85259	LOT 1406 1200 MESQUITE DR CAREFREE
216-33-096	ROBERSON JUDITH J TR PO BOX 3151 CAREFREE AZ 85377	LOT 1407 1120 OCOTILLO CIR CAREFREE
216-33-097	FERGUSON LLOYD C/COOK-FERGUSON MARY PO BOX 2183 CAREFREE AZ 85377	LOT 1408 1118 OCOTILLO CIR CAREFREE
216-33-098	LORIMER LINDA KOCH/ELLIS CHARLES DANIEL 55 HIGHLAND ST NEW HAVEN CT 6511	LOT 1409 1116 OCOTILLO CIR CAREFREE
216-33-099	FRASER REVOCABLE TRUST PO BOX 6112 CAREFREE AZ 85377	LOT 1410 1114 OCOTILLO CIR CAREFREE
216-33-100	MICHAELIS JOINT REVOCABLE TRUST PO BOX 5262 CAREFREE AZ 85377	LOT 1411 1112 OCOTILLO CIR CAREFREE
216-33-101	BICKLE LIVING TRUST PO BOX 2990 CAREFREE AZ 85377	LOT 1412 1110 OCOTILLO CIR CAREFREE
216-33-103	LINDA A SMITH REVOCABLE LIVING TRUST 109 ST PAUL DR OTTERTAIL MN 56571	LOT 1414 1106 OCOTILLO CIR CAREFREE
216-33-104	SCHWARZKOPF REVOCABLE JOINT TRUST PO BOX 2800-317 CAREFREE AZ 85377	LOT 1415 1105 OCOTILLO CIR CAREFREE
216-33-105	BUSCHAVEN 1990 FAMILY TRUST 3002 IRONWOOD RD CAREFREE AZ 85377	LOT 1416 1107 OCOTILLO CIR CAREFREE
216-33-106 216-33-107	ROBERT A AND VANNE S COWIE TRUST PO BOX 1354 CHICAGO IL 60690	LOT 1417/1418 1123/1125 OCOTILLO CIRCLE CAREFREE
216-33-108	SULLIVAN JOHN/MEREDITH KEY PO BOX 1283 LIVINGSTON MT 59047	LOT 1419 1127 OCOTILLO CIR CAREFREE

**PROPERTIES WITHIN 500' OF
1108 OCOTILLO CIRCLE
216-33-102
20-13-V**

216-33-109	JERRY A FARMER AND CHARLENE G FARMER REV TR PO BOX 2800-331 CAREFREE AZ 85377	LOT 1420 1018 BOULDER DR CAREFREE
216-33-110A	KEITH A AND KATHY M CAMPBELL LIVING TRUST 630 VETERANS BLVD NO 562 REDWOOD CITY CA 94063	LOT 1421 1016 BOULDER DR CAREFREE
216-33-115A	HOWARD JEFFREY C/CARSON DOWD 237 RIVERBEND DR MOORESVILLE NC 28117	LOT 1426 1151 BEAVER TAIL CAREFREE 85377
216-33-121A	MCELDOWNEY ROGER L/VIRGINIA C 44 VIA PINTO DR WILLIAMSVILLE NY 14221	LOT 1432 1007 BOULDER DR CAREFREE
216-33-122A	REEVE CURTIS W & MARY M P O BOX 278 BELLEVUE WA 98009	LOT 1216 1005 BOULDER DR CAREFREE
216-33-125A 216-33-126C 216-33-464B	CP BOULDERS LLC 740 CENTRE VIEW BLVD CRESTVIEW HILLS KY 41017	LOT 100 36200 N 76 TH ST CAREFREE
216-83-160	DRAKE FAMILY TRUST PO BOX 1356 CAREFREE AZ 85377-1356	LOT 160 7446 E STAGECOACH PASS CAREFREE
216-83-161	MARSHALL JAMES W/JANICE T TR PO BOX 2421 CAREFREE AZ 85377	LOT 161 7424 E STAGECOACH PASS CAREFREE
	TOWN OF CAREFREE PO BOX 740 CAREFREE AZ 85377	

BOULDERS HOMEOWNERS ASSOC
8360 E VIA DE VENTURA BLVD STE L-
100
SCOTTSDALE AZ 85258

ADVANCED BUSINESS LEARNING 401 K
PROFIT SHARI
1007 N BOULDER DR
CAREFREE AZ 85377

GERALD AND SARAH BERNSTEIN
REVOCABLE TRUST
15912 75TH PL
WESTEDMONDS WA 98026

THOMAS GABRIELLE F
PO BOX 5553
CAREFREE AZ 85377

LOCASCIO JOHN V/RITA M
7914 OAK KNOLL LN
PALOS HEIGHTS IL 60463

BARBARA L KARR 2011 RESTATED
TRUST
44671 WHIPPLE ROAD
POMCROY OH 45769

S RAY KARR 2011 RESTATED TRUST
44671 WIPPLE RD
POMEROY OH 45769

LELAND DAVID
361 WAIHAILA RD
COLUMBUS OH 43202

STEELE KATHY K
2901 N SELKIRK DR
BOISE ID 83702

SURVIVORS TRUST OF REVOCABLE
LIVING TRUST AGR
PO BOX 992
CAREFREE AZ 85377

AIKIN FAMILY TRUST
7100 E CAVE CREEK RD UNIT 110
CAVE CREEK AZ 85331

JAMES J GROGAN AND LYNN GROGAN
TRUST
1119 E OCOTILLO CIR
CAREFREE AZ 85377

BOSTRUP MICHELLE/PAGNUCCO
PETER/PAUL/RAYMOND
PO BOX 113
WACCABUC NY 10597

TATLOW RICHARD H IV/PATRICIA W TR
1009 BOULDER DR
PO BOX 2018
CAREFREE AZ 85377

MOORHEAD GREGORY/LINDA TR
PO BOX 5161
CAREFREE AZ 85377

JOHN AND LYNNE AMBROSE
REVOCABLE LIVING TRUST
PO BOX 1393
CAREFREE AZ 85377

STARR KENNETH
9212 N 115TH PL
SCOTTSDALE AZ 85259

ROBERSON JUDITH J TR
PO BOX 3151
CAREFREE AZ 85377

FERGUSON LLOYD C/COOK-FERGUSON
MARY
PO BOX 2183
CAREFREE AZ 85377

LORIMER LINDA KOCH/ELLIS CHARLES
DANIEL55 HIGHLAND STNEW
HAVENCT6511

FRASER REVOCABLE TRUST
PO BOX 6112
CAREFREE AZ 85377

MICHAELIS JOINT REVOCABLE TRUST
PO BOX 5262
CAREFREE AZ 85377

BICKLE LIVING TRUST
PO BOX 2990
CAREFREE AZ 85377

SALLEE JULIE
POBOX 956
CAREFREE AZ 85377

LINDA A SMITH REVOCABLE LIVING
TRUST
109 ST PAUL DR
OTTERTAIL MN 56571

SCHWARZKOPF REVOCABLE JOINT
TRUST
PO BOX 2800-317
CAREFREE AZ 85377

BUSCHAVEN 1990 FAMILY TRUST
3002 IRONWOOD RD
CAREFREE AZ 85377

ROBERT A AND VANNE S COWIE TRUST
PO BOX 1354
CHICAGO IL 60690

SULLIVAN JOHN/MEREDITH KEY
PO BOX 1283
LIVINGSTON MT 59047

JERRY A FARMER AND CHARLENE G
FARMER REV TR
PO BOX 2800-331
CAREFREE AZ 85377

KEITH A AND KATHY M CAMPBELL
LIVING TRUST
630 VETERANS BLVD NO 562
REDWOOD CITY CA 94063

MCELDOWNEY ROGER L/VIRGINIA C
44 VIA PINTO DR
WILLIAMSVILLE NY 14221

CP BOULDERS LLC
740 CENTRE VIEW BLVD
CRESTVIEW HILLS KY 41017

TOWN OF CAREFREE
PO BOX 740
CAREFREE AZ 85377

BOULDERS HOMEOWNERS ASSOC8360
E VIA DE VENTURA BLVD STE L-100
SCOTTSDALE AZ 85258

DRAKE FAMILY TRUST
PO BOX 1356
CAREFREE AZ 85377-1356

MARSHALL JAMES W/JANICE T TR
PO BOX 2421
CAREFREE AZ 85377

Narrative for The Agnitsch-Sallee Residence Variance

1108 Ocotillo Circle

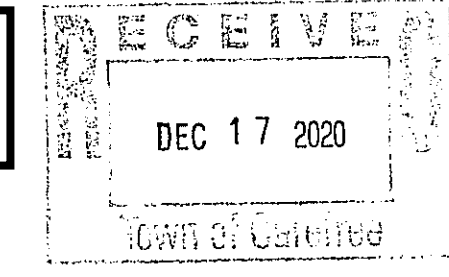
August 12, 2020

I am writing regarding the variance application for the Agnitsch-Sallee Residence at 1108 Ocotillo Circle. We are asking for a variance to build a small golf cart garage that would increase the lot coverage to 53% where 25% is allowed.

We believe that this application for a variance from the lot coverage requirements should be approved for the following reasons:

1. A property hardship is created by the fact that the lot is severely undersized for the zoning. The lot area is 7800 sq. ft. where 18,000 sq. ft. is required by the zoning.
2. If the lot was properly sized this addition could be easily built without a variance.
3. The garage addition is small and in an inset area of the home. It will be hardly noticed.
4. The proposal has been approved by The Boulders Homeowners' Association.
5. Approval of the application would not constitute a special privilege, but would allow the property owner to use the home as others in the neighborhood do. Other homeowners have added golf cart garages.
6. The hardship in this case is not self imposed. The home was built on this undersized property years ago, long before the current owners had the property. The hardship also did not arise out of a misunderstanding or mistake.
7. The application is in harmony with the intent of the zoning ordinance as the variance from the lot coverage requirements does not impose on any neighbors or citizens.

Exhibit D



Sheet Index

- a1 site plan
- building data
- a2 floor plan
- building elevation
- building section
- details
- a3 foundation plan
- roof framing plan
- roof drain plan
- electrical plan

Building Data

Owner: John Agnitsch and Julie Sallee
 1108 Ocotillo Circle
 Carefree, Arizona 85377
 510-815-2760

Site: 1108 Ocotillo Circle
 Lot 1413, Boulders Carefree Unit 1

Parcel No.: 216-33-102

Zoning: R1-18

Lot Area: 7,800 sq. ft.

Existing Under Roof: 400 sq. ft.

Garage Addition: 136 sq. ft.

Proposed Lot Coverage: 440 sq. ft. - 5.81%

Codes

All construction shall comply with the following codes:

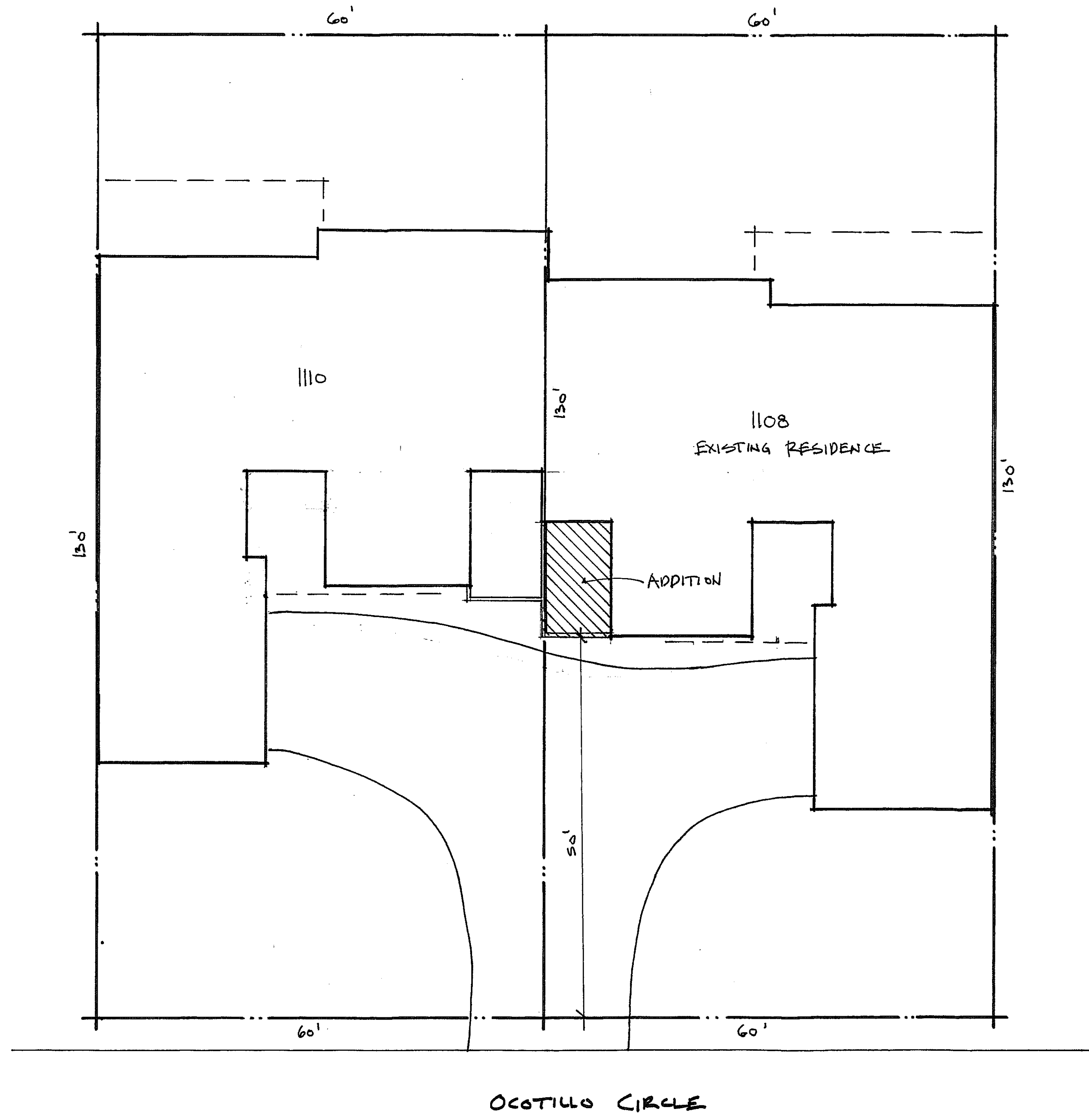
- 2003 International Building Code and Amendments
- 2003 International Residential Code and Amendments
- 1994 Uniform Plumbing Code and Amendments
- 2002 National Electrical Code and Amendments
- 2003 International Mechanical Code and Amendments
- 2003 International Fire Code and Amendments

The Agnitsch-Sallee Residence
 Golf Cart Garage
 1108 Ocotillo Circle
 Carefree, Arizona

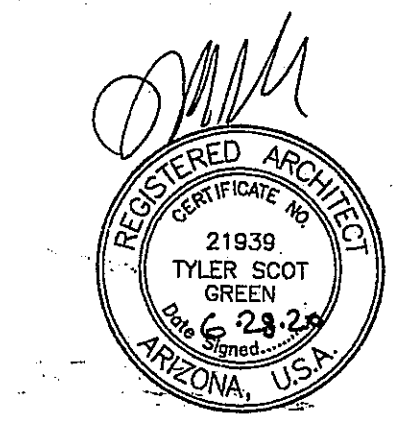
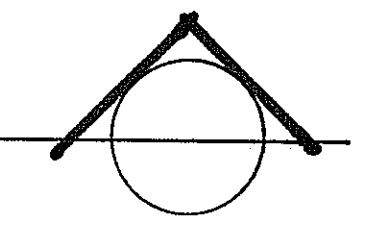
General Structural Notes

Apply unless otherwise noted on structural drawings

1. CODE:
 - a. All construction shall comply with the current adopted Code.
2. SHOP DRAWINGS:
 - a. The following drawings and calculations, where applicable, are required for submittal for structural review:
 - i. none
 - ii. It is the contractor's responsibility to check all shop drawings prior to submittal.
 - b. Concrete mix designs shall be prepared or certified to conform to ACI Code by an independent testing laboratory prior to submittal.
 - c. Any engineering submitted for review shall be appropriately sealed. Full responsibility for such engineering rests with the person sealing the work.
3. FOUNDATIONS:
 - a. Foundations shall bear on firm, undisturbed or compacted soil at 1'-6" minimum below finish or natural grade, whichever is lower. For interior footings finish floor is considered as finish grade. Allowable bearing is 1500 p.s.f.
 - b. Footing excavations shall be inspected and approved by the soils engineer before reinforcing steel or concrete are placed.
4. CONCRETE:
 - a. Shall meet all the requirements of ACI 301-84 with Type II cement. Minimum 28 day strength 2,500 p.s.i. Each yard of concrete shall contain 5 sacks minimum of Portland Cement, and shall not be reduced due to the addition of fly ash. No admixtures without approval. Concrete shall not be in contact with aluminum. Mechanically vibrate all concrete when placed, except slab on grade. Slump, 4-1/2 inches. The contractor shall fix all cracks and displacements larger than 1/16" up to project completion.
5. REINFORCING:
 - a. CRSI Manual and ACI Detailing Manual apply. ASTM A-615 Grade 60 deformed except as follows:
 - i. #2 plain - Grade 40.
 - ii. Wire mesh, flat sheets, plain - A-185.
 - b. Lap splices in masonry shall be 48 diameters.
 - c. Mesh splices: Wire spacing plus 2 inches.
 - d. Lap splices and extensions in concrete: Unless noted otherwise on drawings provide the following lengths: #3 - 16", #4 - 22", #5 - 27", #6 - 35". Minimum clear cover for spliced reinforcing is greater than one bar diameter and minimum clear spacing is greater than two bar diameters. Provide bent corner rebar to match and lap with horizontal rebar at corners and intersection of walls, beams and footings per ACI Manual. Dowel all vertical rebar to foundations. Provide clearance coverages per ACI Code.
6. MASONRY:
 - a. The Arizona Masonry Guild specifications apply. Brick units 2,500 p.s.i. minimum. Block units, grade N-1, running bond, mortar Type S, grout 2,000 p.s.i. Rod and rebar in vertical spaces. Maximum grout fill without cleanouts: 4'-0" in block walls.
 - b. See Architectural Drawings for expansion or control joints. However, the spacing shall not exceed 20 feet. Do not locate a joint less than 2'-0" from bearing of beam or lintel.
 - c. Dowel above rebar to foundation. All additional rebar at jambs and bearings shown on the drawings need not dowel.
 - d. 8" Wall Vertical Reinforcing: In center of grout, minimum 2" x 3" grout core, at center of wall, continuous full height of wall as follows:
 - i. #5 at all corners, intersections, wall ends, jambs and each side of joints.
 - ii. #5 at 48" on center elsewhere, unless noted on plans.
 - e. Horizontal Reinforcing: In minimum 8" deep grouted bond beam, (2) #5 at top of parapets and structurally connected roofs. Provide ladder type #9 joint reinforcing at 16" on center. Place bond beam bars at roof and floor lines continuous through joints. Cut other bars and joint reinforcing at wall joints.
 - f. Wall Openings: Minimum (1) #4 in 8" bond beam above and below openings extending 24" beyond jambs unless shown otherwise on the plans.
9. WOOD:
 - a. General: Comply with International Building Code standards. All lumber pieces, in place, shall be grade stamped.
 - b. Sawn Lumber: West Coast Douglas Fir, unless noted otherwise.
 - c. Posts and 4x and 6x Beams: No. 1 DF-L.
 - d. Built-up Beams and Headers: No. 2 DF-L or Hem Fir No. 2.
 - e. Studs: Stud Grade or Hem Fir Stud Grade, 2x6 at 16" o.c.
 - f. Glulam Beams: West Coast Douglas Fir with 24F-V3 combination stress grade, except beams at cantilever conditions shall have 24F-V8 combination symbol. Materials, manufacture and quality control per PS 54-73, except that the moisture content at the time of manufacture shall not exceed 11 percent. Fabrication and handling by AISC licensed fabricator, per latest AISC standards. Beams to bear AISC quality mark. Use wet service condition adhesive. Beams to be architectural grade, load wrapped.
 - g. Contractor shall provide built-up posts in the wall to match width of all framing beams or girders. Face nail each stud in built-up post to adjacent stud with one row of 16d nailing, staggered at 8 inches o.c.
 - h. See jamb framing detail for jamb framing.
 - i. For non-bearing openings up to 8'-0", (2) 2x with depth in inches to be equal to or greater than the opening width in feet.
10. ROOF SHEATHING:
 - a. Use 1/2" A.P.A. rated 2-M-W with exterior glue, PS 1-83, 32/16 span index. Panel edges shall bear on the framing member and built along their center line. Stagger joints. Fasten sheathing with 10d common or 0.131" x 2" p-nails all installed per NER-272. Fastener spacing shall be 6" o.c. at diaphragm boundary and at supported panel edges and 12" o.c. at intermediate supports including each of any multiple members. Minimum edge distance 3/8". Lay up with face grain perpendicular to supports.
11. WALL SHEATHING:
 - a. Use 3/8" plywood, C-D with exterior glue or 3/8" minimum A.P.A. rated 2-M-W with exterior glue, PS 1-83. Panel edges shall built along framing member center line. Fasten sheathing with 8d common or 0.131" x 2" p-nails all installed per NER-272. Fastener spacing shall be 6" o.c. at panel edges and 12" o.c. at intermediate supports including each of any multiple members. Minimum edge distance 3/8". Block all unframed panel edges.
13. CONNECTIONS:
 - a. All framed connections shall be made with framing anchors each side of joist hangers, by "Simpson" or approved equal, appropriate for the member for upward and downward loads, in accordance with current I.C.C. reports. For Nailing Schedule see Code. All nails noted on the plans and details are common type nails. Field drill all holes for proper matching and bearing.
16. SUPPLEMENTARY NOTES:
 - a. Provide all temporary bracing, shoring, guying or other means to avoid excessive stress and to hold structural elements in place during construction.
 - b. Any members required to support equipment from the framing shown shall be designed and provided by the equipment contractor.
 - c. Any engineering design provided by others and submitted for review shall bear the seal of a Structural Engineer registered in Arizona. Where all foundation retaining walls to prevent lateral movement while backfill is being placed and until the floor slab and reinforcement are placed and have cured a minimum of 14 days.
 - d. Unless noted otherwise, details on structural drawings are typical as indicated by cuts, references or files.



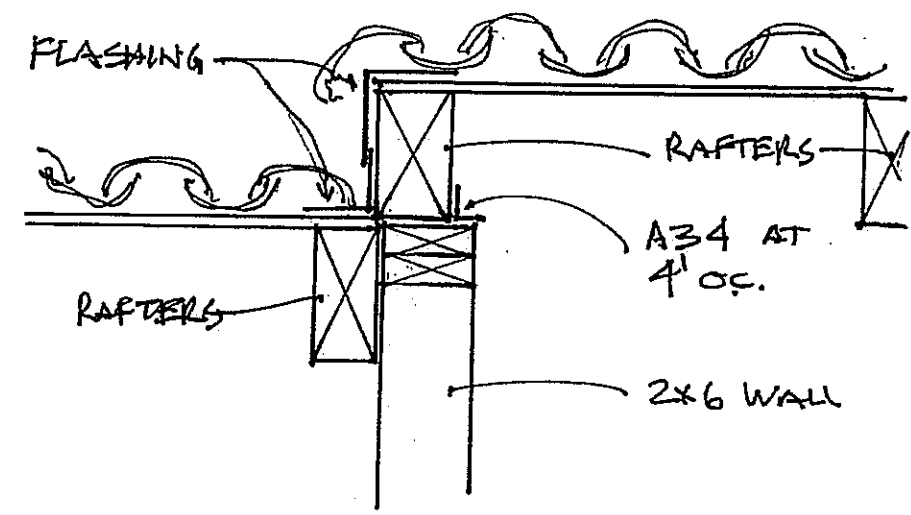
site plan
1" = 10'



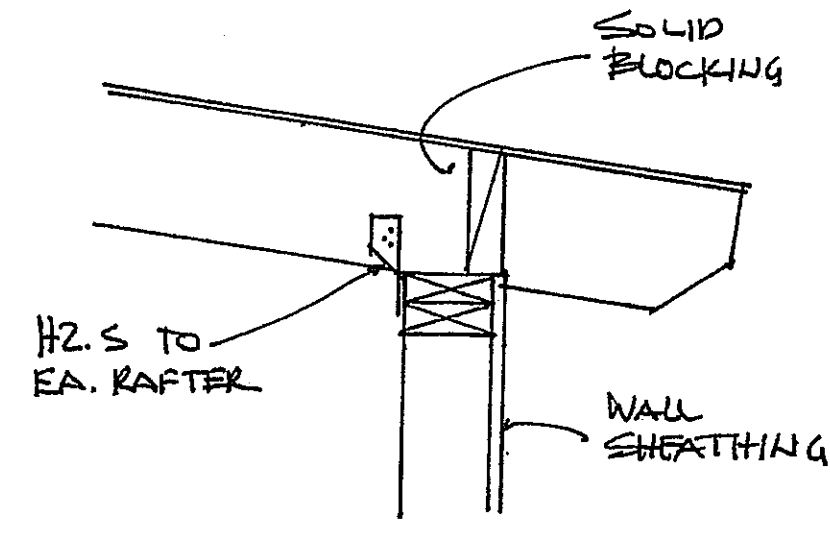
Tyler S. Green - Architect
 11480 N. 25th Street Scottsdale, Arizona 85260
 480-348-2691

Date: 6.28.20
 Revisions: 12.16.20

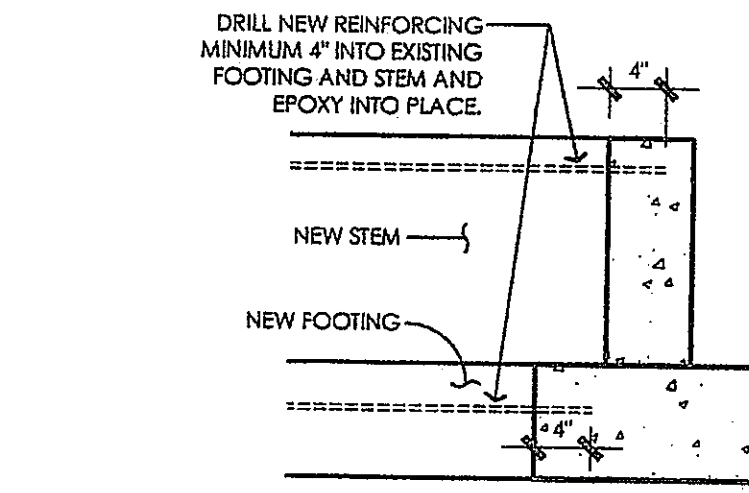
a1



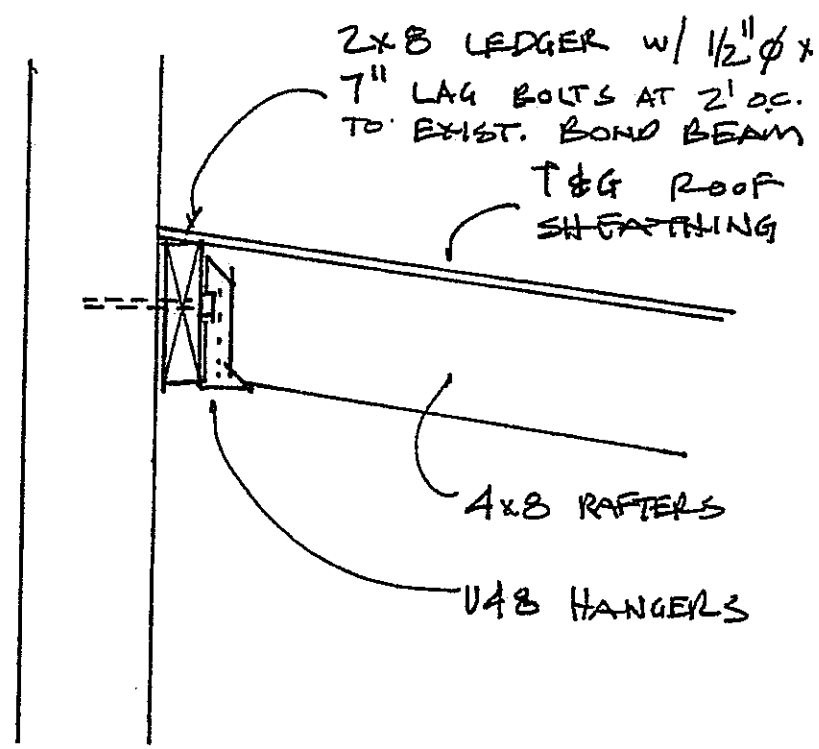
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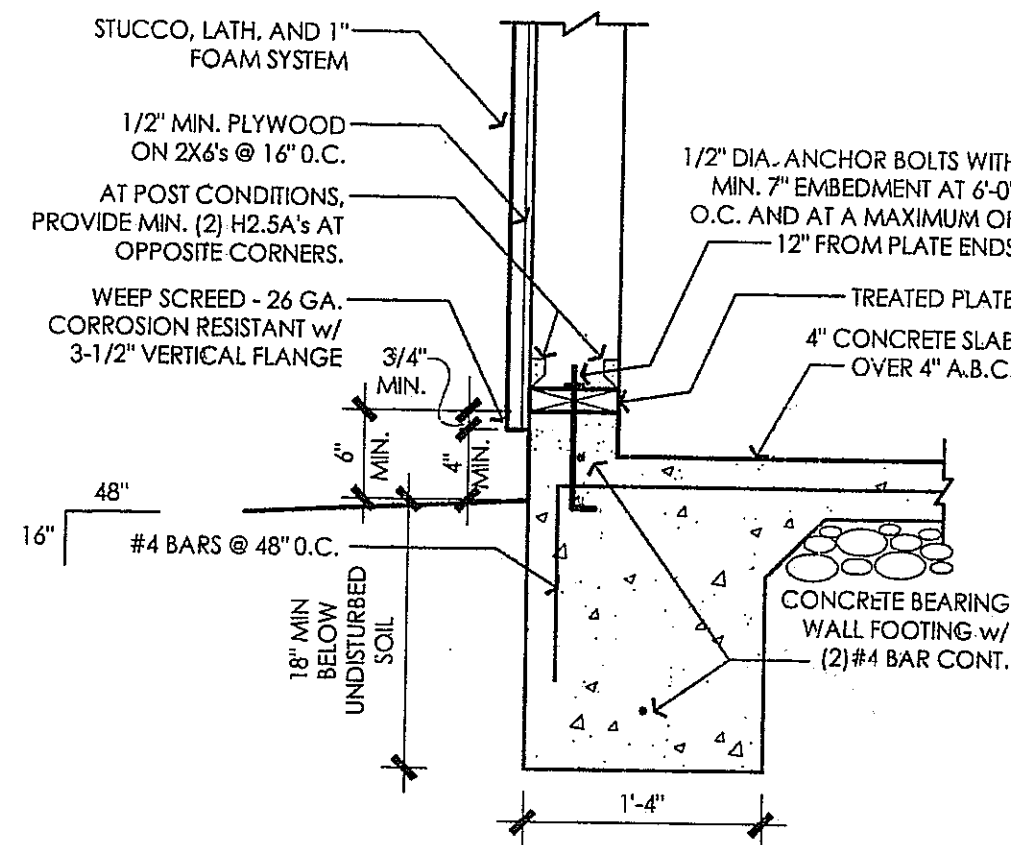
4 BEARING
1/2" = 1'-0"



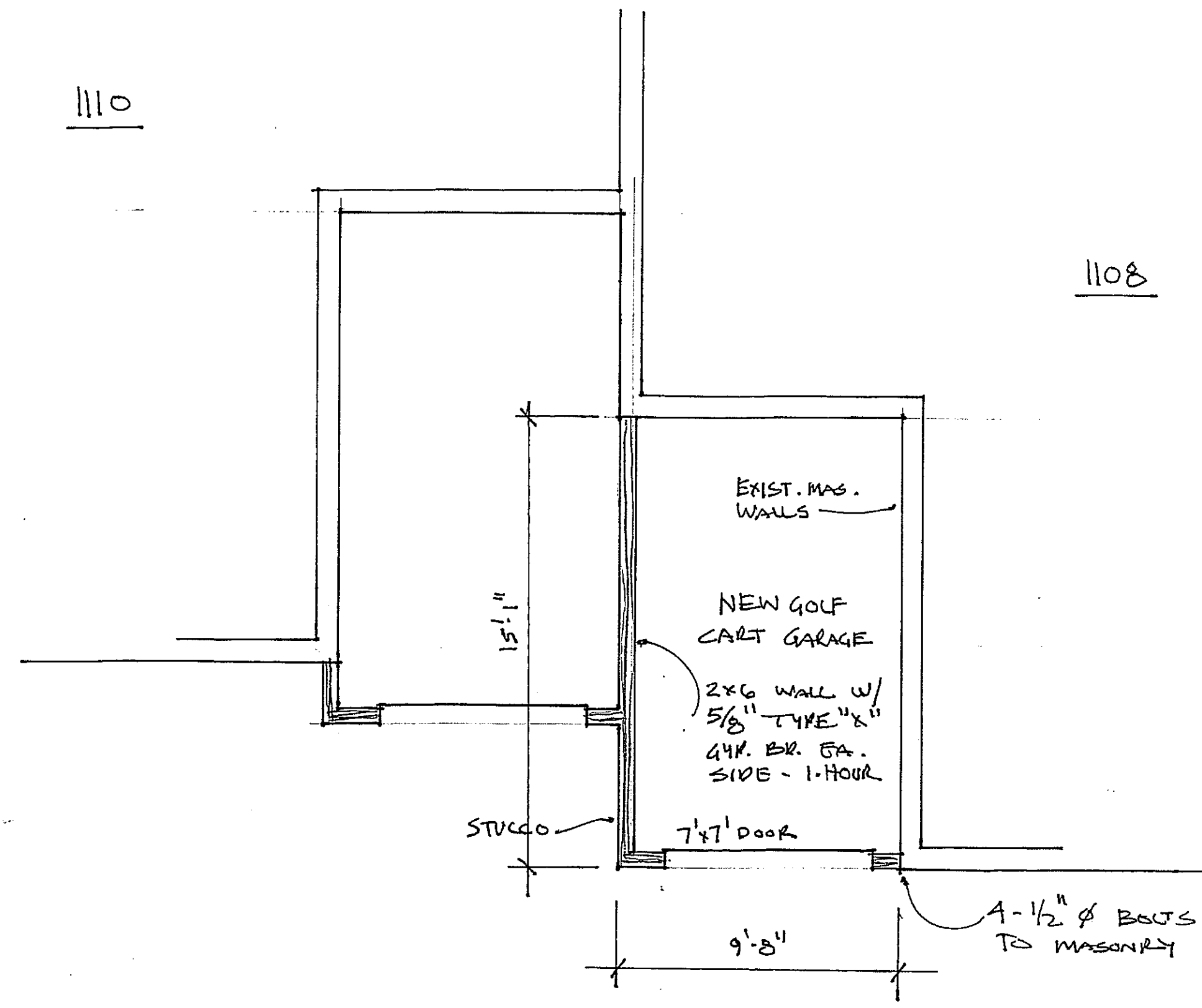
2 Stem and Footing Dowel
GDC-36 scale: 1" = 1'-0"



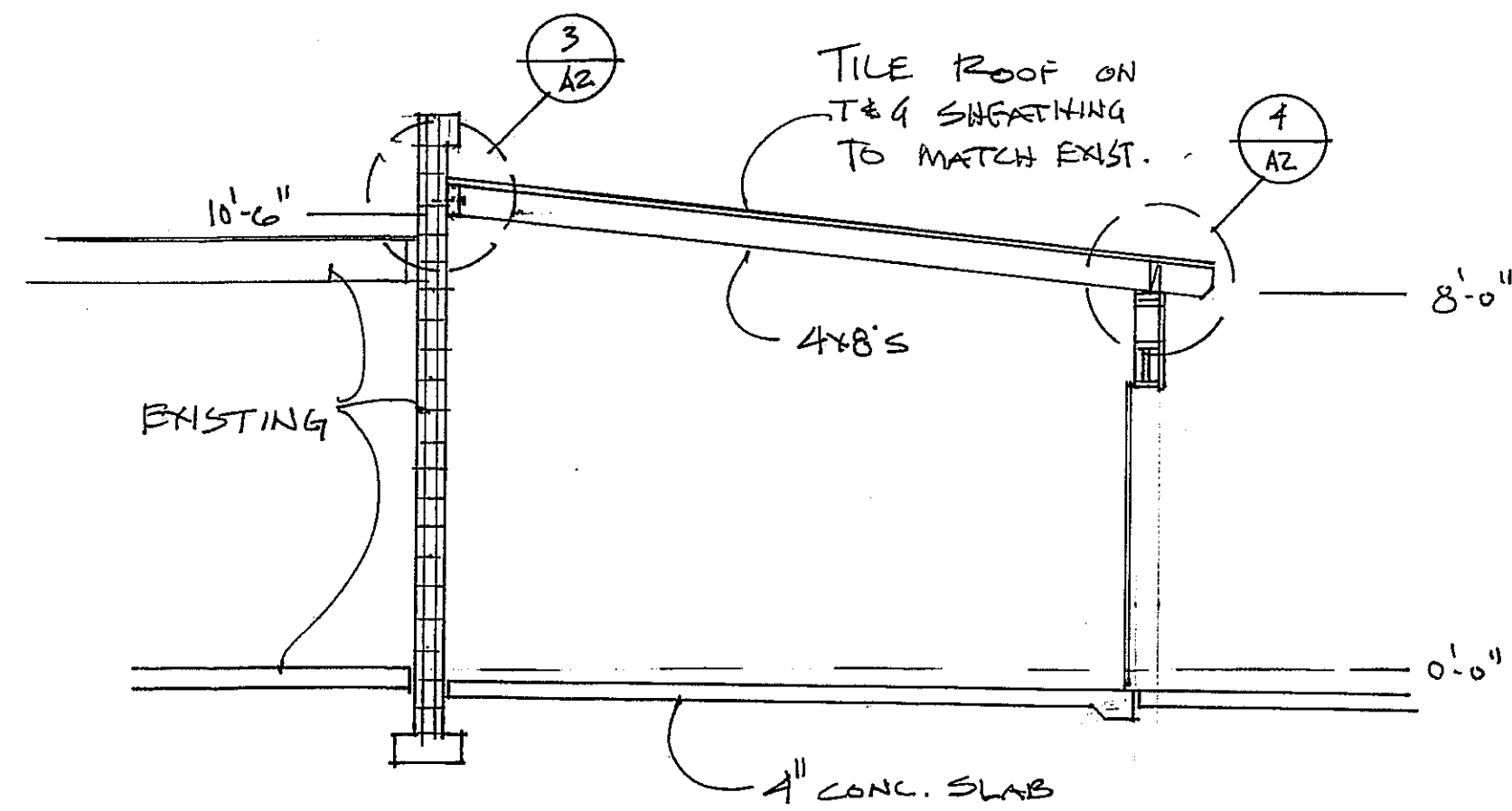
3 LEDGER
1/2" = 1'-0"



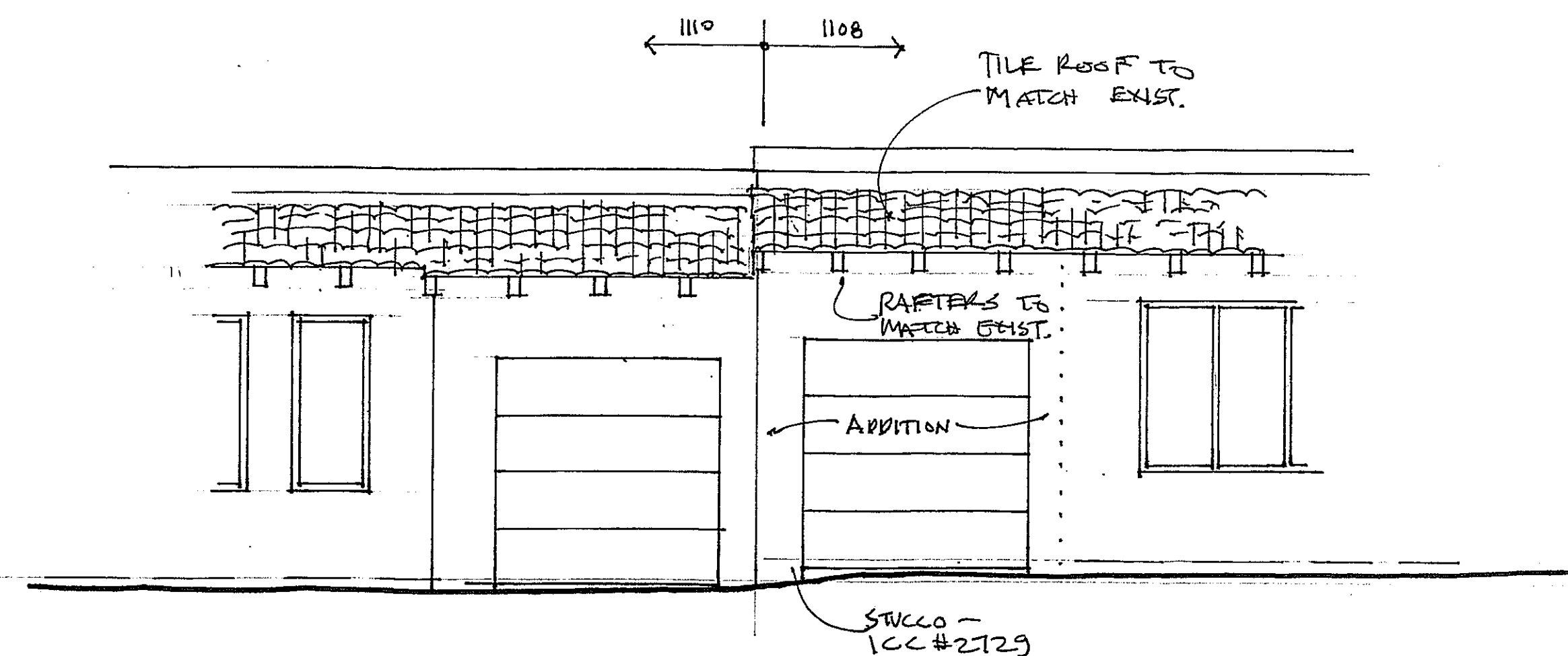
1 Footing at Exterior Wall
GDC-08-MOD scale: 1" = 1'-0"



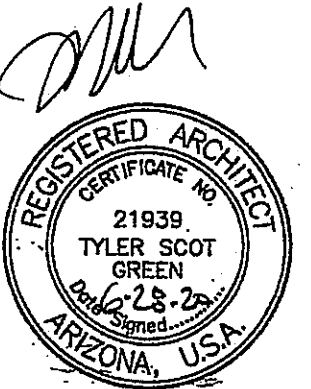
floor plan
1/4" = 1'-0"



building section
1/4" = 1'-0"



front elevation
1/4" = 1'-0"



Tyler Green - Architect
 11480 N. 55th Street Scottsdale, Arizona 85240
 480-348-2691

Date: 6.28.20

Revisions: