

ORDINANCE NO. 2018-07

AN ORDINANCE OF THE COMMON COUNCIL OF THE TOWN OF CAREFREE, MARICOPA COUNTY, ARIZONA, ADOPTING AMENDMENTS TO ARTICLE V OF THE TOWN OF CAREFREE ZONING ORDINANCE 10TH PUBLICATION; PROVIDING FOR REPEAL OF CERTAIN PROVISIONS OF THE TOWN OF CAREFREE ZONING ORDINANCE; PROVIDING FOR SEPARABILITY; ADOPTION AND APPROVAL BY THE MAYOR AND COMMON COUNCIL OF THE TOWN AS REQUIRED BY LAW AND DIRECTING THE TOWN CLERK OF THE TOWN OF CAREFREE TO INCORPORATE THIS AMENDMENT INTO THE TOWN OF CAREFREE ZONING ORDINANCE.

BE IT ORDAINED BY THE MAYOR AND COMMON COUNCIL OF THE TOWN OF CAREFREE, MARICOPA COUNTY, ARIZONA, AS FOLLOWS:

Section 1: The Mayor and Common Council deem it necessary, in order to conserve, promote, and protect the public health, safety and welfare, to amend that certain document known as the Town of Carefree Zoning Ordinance.

Section 2: All ordinances and portions of ordinances in conflict with the provisions of this Ordinance, or inconsistent with the regulations of this Ordinance, are hereby repealed to the extent necessary to give this Ordinance full force and effect.

Section 3: The Amendment is made to *Article VIII, Signs Permitted* of the Town of Carefree Zoning Ordinance as follows (additions are shown in double underline, and deleted language is ~~crossed-out~~):

Article VIII. SIGNS PERMITTED

Section 8.08 Comprehensive Sign Plans

(1) Purpose

(A) The purpose of this Section is to provide a process to respond to special signage needs of proposed or existing uses, as well as to promote superior sign design, materials, and installation methods.

(B) A Comprehensive Sign Program (CSP) provides for flexibility to develop innovative, creative and effective signage and to improve the aesthetics of the Town.

(2) Applicability

(A) All proposed or existing nonresidential multi-tenant complexes and/or mixed use developments.

(3) Review criteria

(A) Applications for a Comprehensive Sign Program shall be reviewed and approved by the Planning Director. The Director may approve a CSP containing elements which exceed the permitted height, area, and number of signs specified in this Sign Ordinance if the CSP conforms to required findings as well as incorporates special design features that encourage quality signage.

(B) The required findings are as follows:

- 1) The development site contains unique or unusual physical conditions, such as topography, size, or relation to a public street that would limit or restrict normal sign visibility; or
- 2) The proposed or existing development exhibits unique characteristics of land use, architectural style, site location, physical scale, historical interest, or other distinguishing features that represent a clear variation from conventional development.

(C) Special design features include, but are not limited to:

- 1) Dimensional letters: Pan channel letters without raceways, non-illuminated reverse pan channel or flat cut out aluminum letters, or internal/indirect illuminated halo channel letters, on an unlit or otherwise indistinguishable background on a freestanding sign or building wall.
- 2) Simplified letter and/or logo copy to encourage easily recognizable business identification while simplifying the appearance of a streetscape.
- 3) Sign structure materials that utilize native or natural materials in the construction of sign structures resulting in improved and innovative sign design and an improved image of a business or development.
- 4) Sign structure which blends with the development site that incorporates a major element of a building façade or significant landscape feature, resulting in the creation of a unique image for a development.

(4) Sign Permit Required

- (A) A sign permit is required for the construction and placement of individual signs contained in an approved Comprehensive Sign Program.
- (B) All signs located in a multi-tenant complex or mixed use development are required to comply with the CSP, if such plan has been approved by the Town.

(5) CSP Submittal Requirements shall include the following:

- (A) A CSP shall be prepared by a graphics design professional.
- (B) A site plan to scale of the overall development, including all parcels included within the multi-tenant complex;
- (C) The location(s) and sizes of existing and proposed buildings, parking lots, driveways, streets and landscaped areas of the development;
- (D) The size, location, height, color, lighting source, and orientation of all proposed signs for the development, with a computation of sign area for each sign type;
- (E) A complete set of standards, including but not limited to, letter size, style, colors, type(s), placement, number of signs and sign material(s), and illumination method (if applicable);
- (F) A narrative description of the development to demonstrate that the sign program meets the required findings and/or sign design standards;
- (G) Any other information deemed necessary to meet the findings noted above.

Section 4: If any section, subsection, sentence, clause, phrase or portion of this Ordinance or any part of the amendments of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

Section 5: The immediate operation of the provision of this Ordinance is necessary for the immediate preservation of the public peace, health and safety; and emergency is hereby declared to exist; and this ordinance shall be effective immediately and in full force and

effect from and after its passage, adoption and approval by the Mayor and the Common Council of the Town of Carefree as required by law.

Section 6: The Town Clerk of the Town of Carefree shall incorporate the Amendment set forth herein in to the Town of Carefree Zoning Ordinance, Carefree, Arizona.

PASSED, ADOPTED AND APPROVED BY THE MAYOR AND COMMON COUNCIL OF THE TOWN OF CAREFREE, ARIZONA, this 4th day of December, 2018.

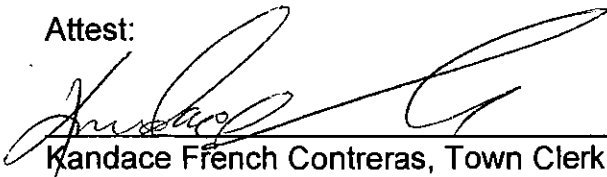
Ayes 7 Noes 0 Abstentions 0 Absent 0

TOWN OF CAREFREE



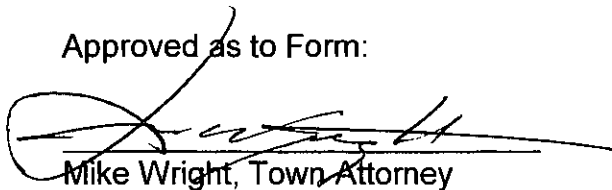
Les Peterson, Mayor

Attest:



Kandace French Contreras, Town Clerk

Approved as to Form:



Mike Wright, Town Attorney