

TOWN OF CAREFREE
NOTICE of a PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD

WHEN: MONDAY, AUGUST 15, 2022
WHERE: CAREFREE TOWN COUNCIL CHAMBERS
33 EASY STREET, CAREFREE, AZ 85377
LIVESTREAM: [HTTPS://ZOOM.US/](https://zoom.us/j/3229729660)
MEETING ID 322 972 9660
PASSCODE 12345
TELEPHONE AUDIO: 1.669.900.6833 OR 1.253.215.8782
TIME: 5:00 P.M.

Pursuant to A.R.S. § 38-431.02, notice is hereby given to the members of the Development Review Board and to the public that the Development Review Board will hold a public meeting on **MONDAY, AUGUST 15, 2022** at 5:00 p.m.

THE AGENDA FOR THE MEETING IS AS FOLLOWS:

CALL TO ORDER, SILENT ROLL CALL, and PLEDGE OF ALLEGIANCE.

ITEM 1. APPROVAL of the **DEVELOPMENT REVIEW BOARD** minutes dated **JULY 11, 2022.**

ITEM 2. DISCUSSION AND POSSIBLE ACTION on a request for:

CASE #: 21-25-DRB
APPLICANT: Mr. Tyler Green
11480 North 85th Street
Scottsdale, AZ
OWNER: Paul and Alison Niday
36400 North Placid Place
Carefree, AZ
CASE LOCATION: 36400 North Placid Place
Carefree, AZ
APN: 219-11-012
REQUEST: To allow for the quantity of fill beneath a building pad to exceed the quantity of cut in order to construct a casita and garage on a lot with an existing residence and natural drainage channels.

ITEM 3. DISCUSSION AND POSSIBLE ACTION on a request for

CASE #: 21-23-MS
APPLICANT: Kathie Crutchfield
NextGen Builders LLC
34406 N. 27th Dr
Building 7
Phoenix, AZ 85085
OWNER: Greg and Stephanie Spencer
PO Box 1287
Carefree, AZ 85377
CASE LOCATION: 39037 Silver Saddle Drive
Carefree, AZ 85377
APN: 216-25-094B
ZONING: Rural-190
Single-Family Residential
REQUEST: Requesting approval of a single family residence in a
Mountainside Zoning District overlay.

ITEM 4. ADJOURNMENT

Samantha Gesell

Samantha Gesell, Planning Clerk
POSTED AUGUST 11, 2022



FOR SPECIAL ACCOMMODATIONS

Please contact the Planning Clerk, 8 Sundial Circle (PO Box 740), Carefree, AZ 85377; (480) 488-3686, at least three working days prior to the meeting if you require special accommodations due to a disability.

TOWN OF CAREFREE
PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD
DRAFT MINUTES

WHEN: MONDAY, JULY 11, 2021
WHERE: CAREFREE TOWN COUNCIL CHAMBERS
33 EASY STREET, CAREFREE, AZ 85377
LIVESTREAM: [HTTPS://ZOOM.US/](https://zoom.us/j/3229729660)
MEETING ID 322 972 9660
PASSCODE 12345
TELEPHONE AUDIO: 1.669.900.6833 OR 1.253.215.8782
TIME: 5:00 P.M.

BOARD MEMBERS PRESENT:

Chairperson Tom Cross
Vice Chairperson Lyn Hitchon – via Telephone
Board Member Heather Burgett – via Telephone
Board Member Peter Burns-via Telephone
Board Member Phil Corso
Board Member Dan Davee – via Telephone
Board Member Ralph Ferro

ABSENT:

None

Members of the Planning and Zoning Commission may have participated by technological means or methods pursuant to A.R.S. §38-431(4).

CALL TO ORDER, SILENT ROLL CALL, and PLEDGE OF ALLEGIANCE.

ITEM 1. APPROVAL of the DEVELOPMENT REVIEW BOARD minutes dated MARCH 14, 2022.

Board Member Corso **MOVED TO APPROVE** the Development Review Board meeting minutes as presented. **SECONDED** by Board Member Ferro. **CARRIED**, unanimously.

ITEM 2. DISCUSSION AND POSSIBLE ACTION on a request for a DEVELOPMENT WAIVER to allow for an increase in the height of two retaining walls in order to allow for a single-level, rear yard space. Public comments will be taken.

CASE #: 22-04-DRB

APPLICANT: Mr. David Timmons
David Timmons Architectural Design Studio
2830 East Tracy Lane, #4
Phoenix, AZ 85032

CASE LOCATION: 38174 Tranquil Way
Carefree, AZ
APN: 216-23-063

REQUEST: **DEVELOPMENT WAIVER** to allow for an increase in the height of two retaining walls.

Planning Director, Stacey Bridge-Denzak presented via PowerPoint details of the request. Reminding the Board that this was an approved Mountainside Case from December 2020. The applicant has now decided that they would like to make a modification to the rear yard space. Displaying the existing design and the new proposed design elevations of the rear of the home, Ms. Bridge-Denzak explained that in order to raise the proposed areas, the walls are needed. To minimize the scale, the applicant will be adding additional stone to the walls.

Director Bridge-Denzak informed the Board that all citizen participation requirements have been met. The applicant responded to questions from one neighboring resident. The HOA has reviewed and approved the project.

Board Member Corso **MOVED TO APPROVE** the request for a **DEVELOPMENT WAIVER** to allow for an increase in the height of two retaining walls in order to allow for a single-level, rear yard space, with the following conditions:

1. The building permit development plans shall conform to the revised site plans, elevations, and sections submitted in association with this case and attached to the staff report dated May 18, 2022.
2. All revisions necessary to construct the walls shall be submitted to the Building Department for review and approval before the new walls are installed.
3. Each retaining wall shall include stone veneer to match the proposed stone at the project on the subject property as included in this report.
4. The granting of this approval shall be null and void if the building permit is not issued within one year of approval.

SECONDED by Board Member Ferro. **CARRIED**, unanimously.

ITEM 3. DISCUSSION AND POSSIBLE ACTION on a request for approval of a **MOUNTAINSIDE DEVELOPMENT**. Public comments will be taken.

CASE #: 21-30-MS

APPLICANT: Joel Moreno
iPlan, LLC
4711 E. Falcon Dr.
Mesa, AZ 85215

CASE LOCATION: 7453 East Travois Trail
Carefree, AZ
APN: 216-33-046

ZONING: R1-35 Single Family Residential
70,000 square feet minimum lot size

REQUEST: **APPROVAL** of a development plan for a single-family residence in the Mountainside Zoning District Overlay.

Planning Director, Stacey Bridge-Denzak presented a map depicting the location of the property. Explaining, there is a significant wash at the southern lot line of the property. Depending on the flow rate, erosion setback requirements may have an impact as to how the home is sited on the property.

Ms. Bridge-Denzak noted, the proposed plan does comply with the Town's Development Standards. The HOA has approved the design. Adding, in designing the rear yard, the applicant has worked hard to confine the grading disturbance of the lot.

Director Bridge-Denzak presented 3D renderings of the proposed home, provided by the applicant, exhibiting an excellent concept of the completed home as it is developed on all sides.

Concluding, all Citizen Participation requirements have been met with one neighboring resident having general questions. The Homeowner's Association has reviewed and approved the project.

Board Member Corso **MOVED TO APPROVE** the development plan for a single-family residence in the Mountainside Zoning District Overlay, with the following conditions:

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application and attached to this report as well as the conditions approved by the Development Review Board on May 17, 2022.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. The configuration of the septic system in the final permit plans shall be consistent with the configuration exhibited on the Grading and Drainage Plan submitted with this application and attached to this report.
4. Disturbed areas for the septic system installation shall be restored to existing grade and revegetated in a manner that is consistent with the plant type and density of the surrounding natural environment and as noted on the landscape plans. A final landscape plan which includes the associated revegetation plan shall be submitted and approved by the Town of Carefree prior to issuance of a building permit.

5. All retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 Walls and Fences of the Carefree Zoning Ordinance.
6. Driveway grading shall be designed consistent with the plans associated with this application and attached to this report and according to Section 10.06 Site Disturbance and Driveways of the Carefree Zoning Ordinance.
7. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
8. Landscaping shall meet all provisions of Article IX, Section 9.13.

SECONDED by Board Member Ferro. **CARRIED**, unanimously.

ITEM 4. ADJOURNMENT

The meeting was adjourned by unanimous consent at 5:20 p.m.

Samantha Gesell

Samantha Gesell, Planning Clerk
JULY 11, 2022

Tom Cross, Chairman



DEVELOPMENT REVIEW BOARD - STAFF REPORT

MEETING DATE: AUGUST 15, 2022

Item No. 2

SUBJECT

Development Review Board, Case No. 21-25-DRB

REQUEST

This is a request by the owner's representative, Mr. Tyler Green, to allow for the quantity of fill beneath a building pad to exceed the quantity of cut in order to construct a casita and garage on a lot with an existing residence and natural drainage channels. The Development Review Board has authority to approve this request.

Key Items for Consideration:

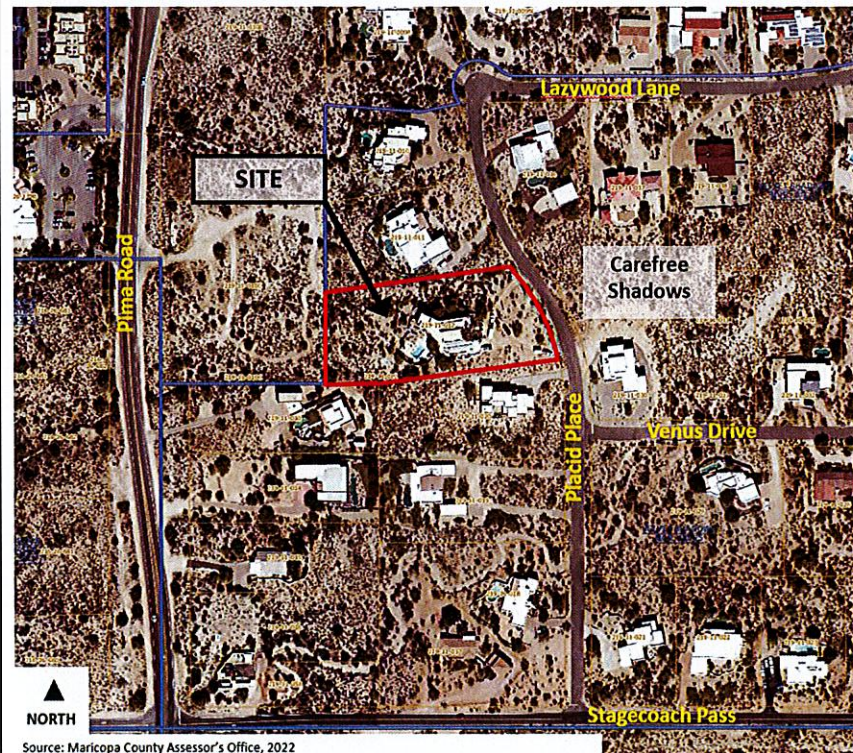
1. The property is located at 36400 Placid Place on the west side of the road, Maricopa County tax parcel #219-11-012.
2. The subject site is a single-family lot in the Carefree Shadows (previously Velvet Shadows) subdivision, Lot 3.
3. The subject property is 71,005 square feet (1.63 acres).
4. The proposal is to construct a new attached casita and garage near the existing home and to maintain a similar floor elevation for drainage and access purposes.

APPLICANT/ OWNER INFO

Applicant
Mr. Tyler Green
11480 North 85th Street
Scottsdale, AZ

Owner
Paul and Alison Niday
36400 North Placid Place
Carefree, AZ

LOCATION/ AERIAL



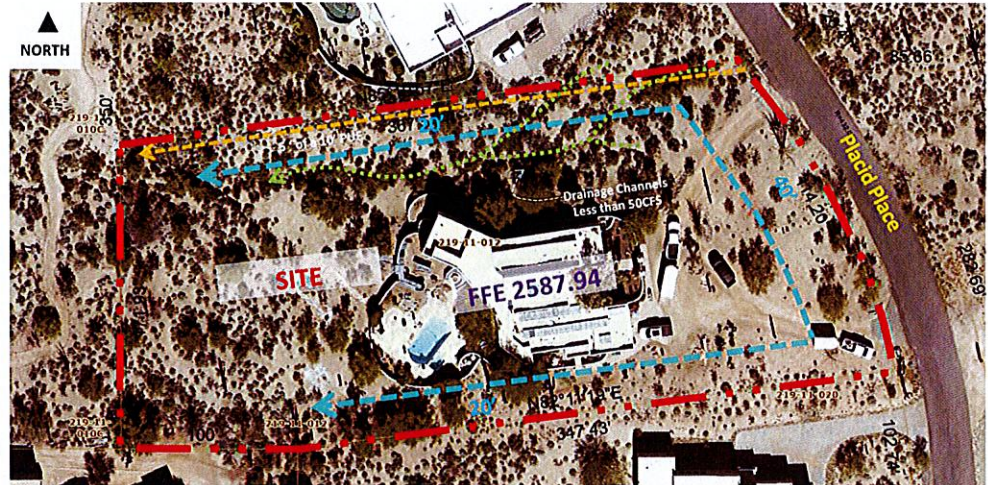
DEVELOPMENT REVIEW BOARD – STAFF REPORT

Case No. 21-25-DRB

LAND USE

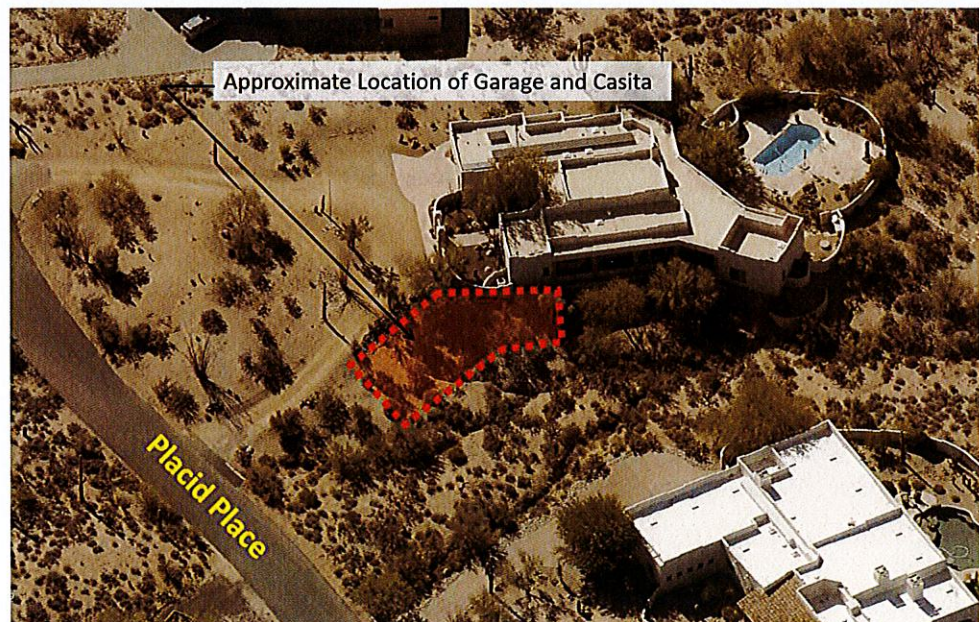
General Plan, Zoning, Existing Land Uses

The Carefree General Plan designates the subject site as Low Density Residential, and it is zoned R1-35 Single-Family Residential. Surrounding land uses include developed, single-family lots with similar zoning to the north and south, the Town's cemetery to the west, and right-of-way to the east.



PROJECT SUMMARY

The property is located on the west side of Placid Place in the Carefree Shadows subdivision. The applicant is requesting relief from zoning in order to construct a new casita with garage adjacent to the existing residence. In the area of the proposed structure, the site slopes from the existing driveway down to two existing drainage channels, each with a flow rate of less than 50 cubic feet per second (CFS). A 10-foot public utility easement runs the length of the north property line. However, there is no impact of the proposal on this easement.



Aerial View looking southwest.

DEVELOPMENT REVIEW BOARD – STAFF REPORT

Case No. 21-25-DRB

Pursuant to Section 9.10(7)(C) of the Carefree Zoning Ordinance, “the quantity of fill material shall not exceed the quantity of cut material, unless otherwise approved by the Development Review Board (see Figure 9.5).” The intent of this zoning requirement is to allow for the reasonable finished floor elevation and placement of a structure on a lot without artificially raising it on the property thereby deliberately impacting adjacent views.

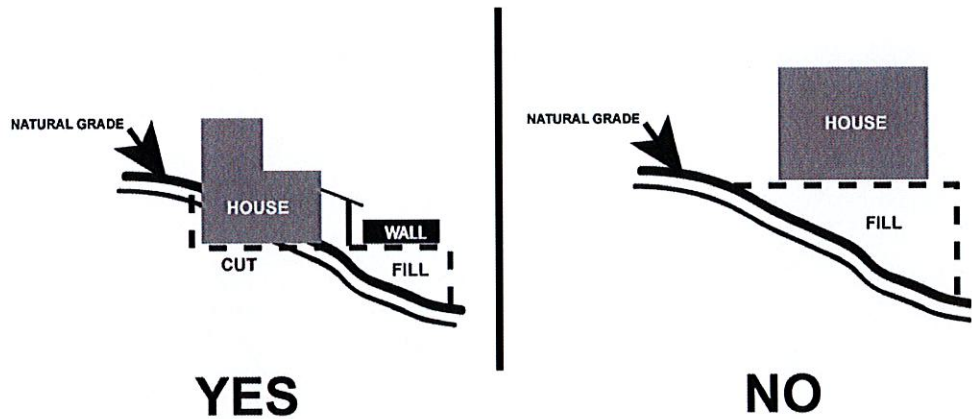
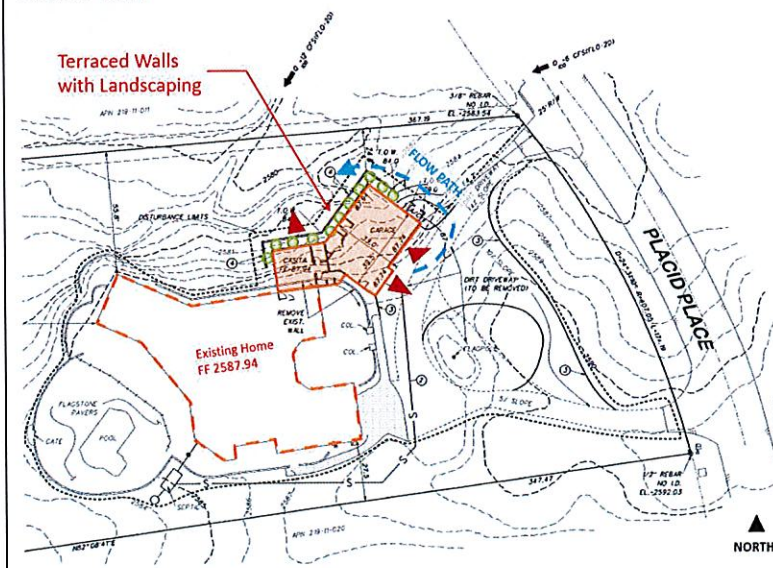


Figure 9.5: Example of appropriate cut and fill ratio.

In this case, the casita and garage are connected to the main residence. This proposed location is based on building setback restrictions and existing septic system at the south side of the home. Maintaining a similar finished floor to the home eliminates the need for stairs inside and outside of the structures. Also, lowering the finished floor of the proposed casita/garage would create an uneven condition at the driveway. Therefore, aligning the home’s finished floor with the new structure is reasonable, but therefore requires added fill. The color and style of the new casita and garage will match the existing home.

Site Plan

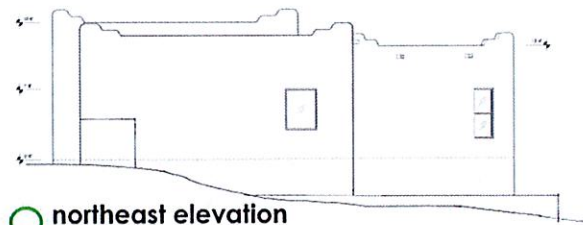


DEVELOPMENT REVIEW BOARD – STAFF REPORT

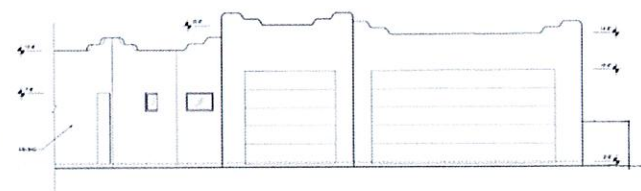
Case No. 21-25-DRB

Since the casita and garage are attached structures, it may reach a height of 24 feet from its design grade (lowest finished floor); however, in this case it is 16 feet. It will sit on a 4-foot tall stem wall at its highest point. A second terraced retaining wall will handle the rest of the grade at a maximum height of 4 feet also. Drainage will be addressed by directing runoff around the structure to then empty into the existing onsite drainage channels. Specifically, the disturbance at the channel adjacent to the garage is permitted since it's flow rate is less than 50 CFS.

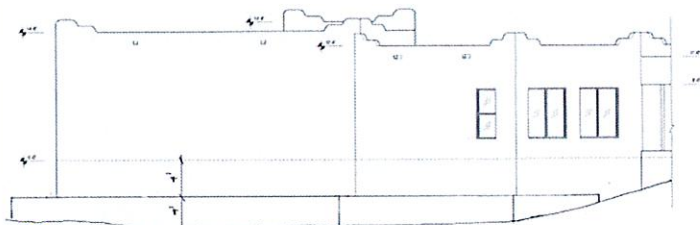
Site Elevations



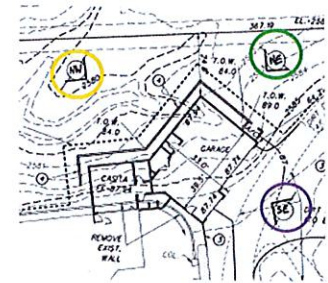
northeast elevation
scale: 1/4" = 1'-0"



southeast elevation
scale: 1/4" = 1'-0"



northwest elevation
scale: 1/4" = 1'-0"



Proposed vegetation will be added to the rear of the addition to buffer the structure and help reduce the scale of the façade related to the terraced walls. The vegetation will help buffer the neighboring views. Public views from Placid Place are unaffected as the structure is set back a considerable distance from the road and it's height is in concert with the existing residence. All other development standards have been met.

Citizen Participation

The Citizen Participation requirements have been met. The applicant distributed a letter notifying 29 surrounding property owners and HOAs within a 500-foot radius as well as the Town. The letters were mailed on February 18, 2022. No comments were received by the applicant or Town staff.

DEVELOPMENT REVIEW BOARD – STAFF REPORT

Case No. 21-25-DRB

DEVELOPMENT REVIEW BOARD

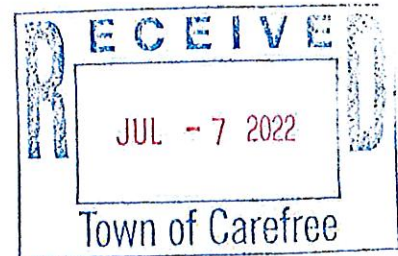
An action is needed by the Development Review Board to approve or deny the request to allow for a finished floor elevation that increases the amount of fill that would be located below this structure if designed otherwise as prohibited under the Zoning Ordinance.

Attachments:

- Conditions for Approval
- Grading Plan/Building Elevations
- Citizen Participation Report

21-25-DRB

Citizen Participation Report



The Niday Residence
36400 N. Placid Place
Carefree, Arizona 85377

Existing Use of Property: Residence

Request: Excess fill under addition.

Owner: Paul and Alison Niday
36400 N Placid Place
Carefree, Arizona 85377
phone: 831-465-4426

Applicant: Tyler Green
11480 N. 85th Street
Scottsdale, Arizona 85260
phone: 480-348-2691

Contact: applicant

Responses:

The parties listed were notified by mail on February 23, 2012. There were no responses to the mailing. I have copies of the envelopes that were return as undeliverable.

DEVELOPMENT REVIEW BOARD – STAFF REPORT

Case No. 21-25-DRB

Case No. 21-25-DRB
CONDITIONS FOR APPROVAL
36400 North Placid Place, TAX PARCEL #219-11-012

1. The building permit development plans shall conform to the site and building plans submitted in association with this case and attached to the staff report as follows:
 - Grading and Drainage Plan, Sheet 1 of 1, date stamped 7-7-2022
 - Architectural Plan, Sheet A4, date stamped 7-7-2022
2. The finished floor elevation of the new casita/garage shall not exceed elevation +2587.94, and stem and retaining walls shall not exceed an exposed height of 4 feet.
3. Stem and retaining walls shall be painted stucco in conjunction with the building.
4. Landscaping shall be native and reasonable in size to provide an initial buffer of the structure.
5. The granting of this approval shall be null and void if the building permit is not issued within one year following the date of this approval unless an extension is requested by the applicant and/or owner and granted by the Zoning Administrator.

TOWN OF CAREFREE P&D NOTES

1. REFERENCE TOWN OF CAREFREE PERMIT AND ADDENDUMS FOR ADDITIONAL CONDITIONS.
2. HISTORIC DRAINAGE PATTERNS SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS.
3. ANY WORK PERFORMED WITHOUT APPROVAL OF THE APPLICABLE TOWN OF CAREFREE DEPARTMENT OR AFFECTED UTILITY COMPANY AND/OR ALL WORK AND MATERIAL NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE OWNER'S EXPENSE.
4. THE ISSUANCE OF ANY CONSTRUCTION PERMIT SHALL NOT RELIEVE THE OWNER OR OWNER'S AGENT FROM COMPLIANCE WITH ALL OTHER GOVERNMENTAL REGULATIONS INCLUDING BUT NOT LIMITED TO ZONING & BUILDING REQUIREMENTS.
5. CONTACT TOWN OF CAREFREE TO SCHEDULE AN IN-PROGRESS INSPECTION FOR ALL HEADWALLS, CUT OFF WALLS, AND WEIRS AFTER EXCAVATION AND FORM PLACEMENT, PRIOR TO PLACEMENT OF ANY MATERIAL.
6. AS SPECIFIED IN THE PERMIT CONDITIONS, CONTACT TOWN OF CAREFREE TO SCHEDULE AN IN-PROGRESS INSPECTION FOR ALL GABION MATTRESSES, RIP-RAP, FILTER FABRIC, AND/OR GRAVEL UNDERLAYMENT AFTER EXCAVATION BUT PRIOR TO PLACEMENT OF ANY MATERIAL.
7. AS SPECIFIED IN THE PERMIT CONDITIONS, CONTACT TOWN OF CAREFREE TO SCHEDULE AN IN-PROGRESS INSPECTION FOR ALL RETAINING WALLS AFTER EXCAVATION AND FORM PLACEMENT, PRIOR TO PLACEMENT OF ANY MATERIAL. ADDITIONAL INSPECTIONS AND/OR RE-INSPECTIONS SHALL BE ASSESSED ADDITIONAL FEES IN CONFORMANCE WITH ADOPTED FEE SCHEDULES.
8. RIP-RAP AREAS SHALL BE OVER-EXCAVATED SUCH THAT TOP OF RIP-RAP WILL MEET ADJACENT GRADE.
9. DRAINAGE OPENINGS IN CMU WALLS SHALL BE AS SHOWN ON THE APPROVED PLANS OR NON-DECORATIVE TURNED BLOCK, EVERY OTHER BLOCK AT GRADE, IF TWO BLOCKS NEXT TO EACH OTHER ARE NOT TURNED, TWO TURNED BLOCKS NEXT TO EACH OTHER SHALL THEN FOLLOW.
10. SHOULD ANY PROPOSED DEVELOPMENT REQUIRE CLARIFICATION AS DETERMINED BY TOWN OF CAREFREE, A PLAN ADDENDUM SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER SHALL BE SUBMITTED FOR APPROVAL. SUBMITTAL OF AN ADDENDUM MAY REQUIRE FORMAL PLAN MODIFICATION AS DEEMED BY TOWN OF CAREFREE.
11. ALL CONSTRUCTION SHALL MEET OR EXCEED MAG SPECIFICATION 211.
12. ALL CONSTRUCTION SHALL MEET OR EXCEED CURRENT MAG SPECIFICATIONS AND STANDARDS.
13. AN APPROVED SET OF PLANS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES PERMIT IS ACTIVE.
14. DISCREPANCIES OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD AND RESOLVED WITH TOWN OF CAREFREE PRIOR TO PROCEEDING WITH THE WORK.
15. CONTACT BLUE STAKE AT 602-263-1100 A MINIMUM OF 2-DAYS PRIOR TO CONSTRUCTION.

TOWN OF CAREFREE NOTE

ALL PLANTS PROTECTED BY THE TOWN OF CAREFREE, INCLUDING SMALL CACTI, SHALL BE SALVAGED AND RELOCATED TO DESIGNATED PLACES. SAGUARO TRANSPLANTING METHODOLOGY RECOMMENDED BY THE TOWN OF CAREFREE WILL BE USED.

A PRE-GRADING INSPECTION IS REQUIRED AFTER THE PERMIT IS ISSUED AND BEFORE ANY GRADING BEGINS. ALL PROTECTED PLANTS ARE TO BE MOVED INTO THE DESIGNATED AREAS, THE CONSTRUCTION FENCE IS TO BE IN PLACE, AND THE BUILDING DEPARTMENT IS TO BE CALLED FOR AN INSPECTION.

HISTORICAL ENTRANCE AND EXIT POINTS AND HYDRAULIC PROPERTIES OF ALL EXISTING DRAINAGE CHANNELS SHALL BE PRESERVED IN THEIR NATURAL CONDITIONS.

HVAC UNITS AND MECHANICAL EQUIPMENT INCLUDING POOL EQUIPMENT SHALL BE SCREENED BY SOLID WALLS AND GATED PURSUANT TO SECTION 9.07 OF THE CAREFREE ZONING ORDINANCE AND IN CONFORMANCE WITH THE CAREFREE BUILDING CODE.

ALL LANDSCAPING SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

TOWN OF CAREFREE STANDARD NOTES-GRADING

OWNERS ENGINEER SHALL BE RESPONSIBLE FOR STAKING AND VERIFICATION OF FINISH FLOOR ELEVATIONS.

OWNER SHALL BE NOTIFIED TWENTY-FOUR HOURS PRIOR TO STARTING CONSTRUCTION.

A 6-FOOT CHAIN LINK CONSTRUCTION FENCE SHALL BE PLACED ON THE DISTURBED AREA BOUNDARY PRIOR TO EXCAVATION AND GRADING.

A LETTER FROM A SURVEYOR REGISTERED IN THE STATE OF ARIZONA SHALL BE SUBMITTED VERIFYING THAT THE 6-FOOT CONSTRUCTION FENCE HAS BEEN INSTALLED ALONG THE DISTURBED AREA SHOWN ON THE PLAN PRIOR TO EXCAVATION AND GRADING.

GENERAL NOTES:

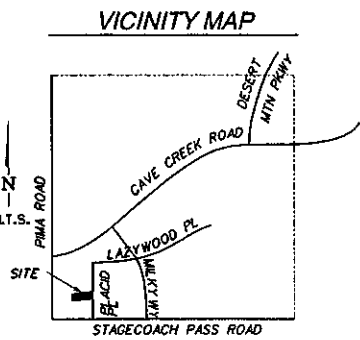
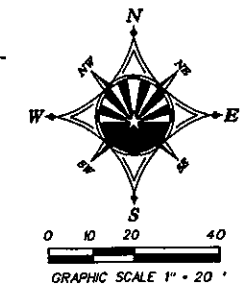
1. RELOCATE TREES PER OWNERS DIRECTION.
2. FINISH GRADES ARE REQUIRED TO SLOPE DOWN 6" WITHIN THE FIRST 10' AWAY FROM THE STRUCTURE. PROVIDE DRAINAGE SWALES AND OTHER DEVICES AS NECESSARY SO NO WATER ACCUMULATES AT OR INSIDE THE FOUNDATION.
3. THE MAXIMUM BUILDING HEIGHT IS 16' FROM THE DESIGN GRADE (LOWEST FINISHED FLOOR)
4. EXISTING UTILITY TAP LOCATIONS SHOWN HEREON HAVE NOT BEEN FIELD VERIFIED, CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.

TOWN OF CAREFREE GRADING AND DRAINAGE PLAN NOTES

1. FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 1 FOOT ABOVE THE 100-YEAR STORMWATER SURFACE ELEVATION.
2. EXCESS CUT MATERIAL SHALL BE REMOVED FROM THE SITE.
3. ALL CONSTRUCTED SLOPES SHALL BE EROSION PROTECTED WITH RIP-RAP AND PLANTS.
4. AN AS-BUILT SURVEY PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO POURING THE FLOOR, AND WILL VERIFY SETBACKS AND FINISHED FLOOR ELEVATIONS.
5. AT THE FRAMING INSPECTION, A HEIGHT CERTIFICATION PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED VERIFYING BUILDING HEIGHT.
6. ALL EXTERIOR LIGHTING WILL BE SHIELDED TO COMPLY WITH SECTION 9.12 OF THE CAREFREE ZONING ORDINANCE.

LEGAL DESCRIPTION

LOT 3, VELVET SHADOWS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 104 OF MAPS, PAGE 25.



SITE DATA

A.P.N.	219-11-012
SITE ADDRESS	36400 N. PLACID PL
PARCEL AREA	71,005 S.F.
PARCEL ZONING	R1-35
TOTAL LOT DISTURBANCE	31,600 S.F. OR 33%
EXIST. LIVABLE	2,838 S.F.
EXIST. GARAGE	625 S.F.
EXIST. PORCH/PATIO	490 S.F.
TOTAL EXISTING	3,953 S.F.
NEW LIVABLE	566 S.F.
NEW GARAGE	1,244 S.F.
TOTAL NEW	1,810 S.F.
TOTAL COVERAGE	5,763 S.F. OR 8.1%

LEGEND

- FOUND MONUMENT (TYPE SHOWN)
- PROPERTY LINE
- EXISTING CONTOUR
- ELECTRIC JUNCTION BOX
- GAS METER
- TELEVISION JUNCTION BOX
- TELEPHONE JUNCTION BOX
- WATER METER
- CLEANOUT
- MASONRY WALL
- FENCE
- CONCRETE
- PAVEMENT
- DISTURBANCE LIMITS

CONSTRUCTION NOTES

1. NEW CASITA/GARAGE
2. NEW 4" SDR-35 SEWER LINE
3. STABILIZED DECOMPOSED GRANITE AT EXISTING GRADE UNLESS SHOWN OTHERWISE
4. RETAINING WALL (SEE ARCHITECT PLANS FOR DETAILS)

PREPARED FOR

PAUL NIDAY
36400 N. PLACID PL.
CAREFREE, AZ 85377
831-456-4426
nidaypaul@gmail.com

BENCHMARK

SOUTH 1/4 CORNER SECTION 31
GDACS POINT 41132-21
MC BRASS CAP
ELEVATION: 2812.28 (NAVD '88)

SURVEYOR'S CERTIFICATION

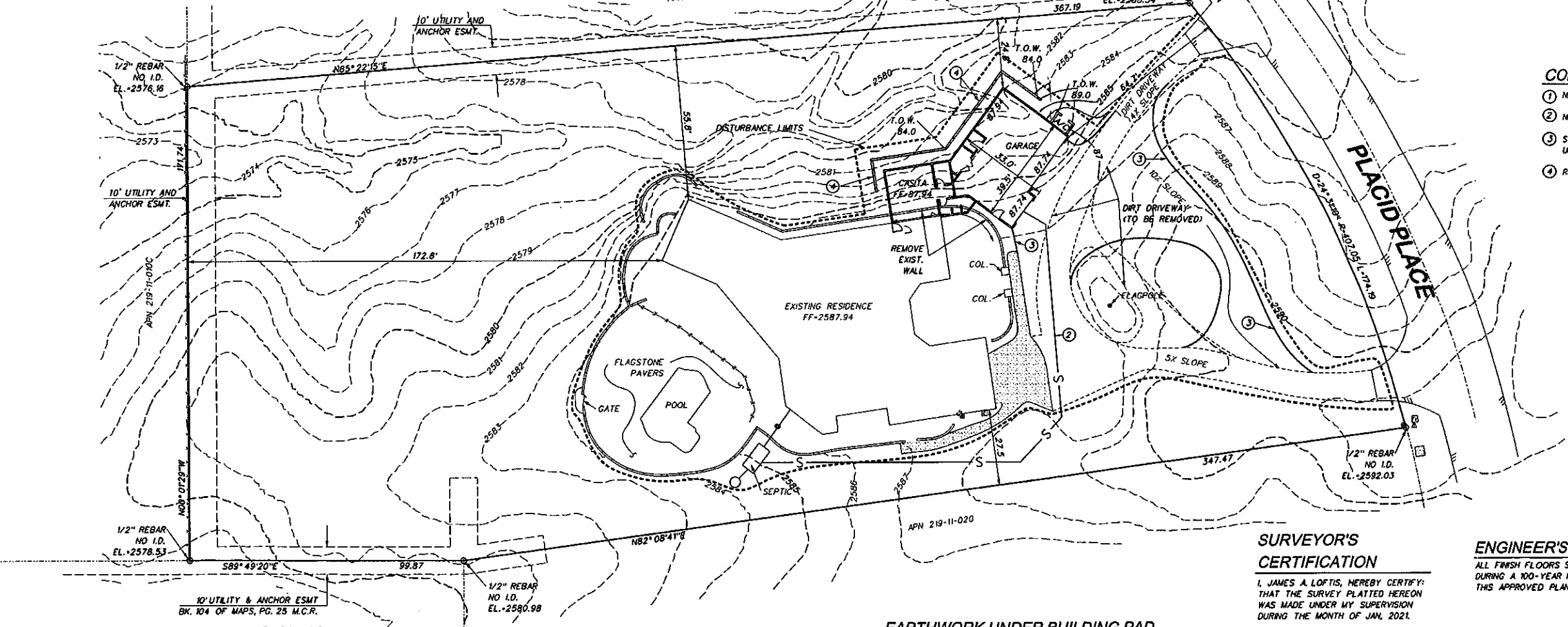
I, JAMES A. LOFTIS, HEREBY CERTIFY THAT THE SURVEY PLATTED HEREON WAS MADE UNDER MY SUPERVISION DURING THE MONTH OF JAN, 2021.



ENGINEER'S CERTIFICATION

ALL FINISH FLOORS SHOWN ON THIS PLAN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUNOFF EVENT IF BUILT IN ACCORDANCE WITH THIS APPROVED PLAN.

GEORGE@EVERETTALANGROUP.COM



UTILITIES

- | | |
|-----------|------------------------|
| ELECTRIC | ARIZONA PUBLIC SERVICE |
| GAS | SOUTHWEST GAS |
| WATER | CAREFREE WATER COMPANY |
| SEWER | SEPTIC |
| TELEPHONE | QUEST |
| CABLE TV | COX COMMUNICATIONS |

EARTHWORK UNDER BUILDING PAD

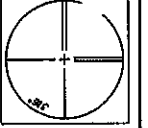
CUT: 0 C.Y.
FILL: 200 C.Y.
NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	COMMUNITY MAP NUMBER	PANEL NUMBER	PANEL DATE	SUFFIX	FIRM INDEX DATE	FIRM ZONE	BASE FLOOD ELEVATION (AO ZONE, USE DEPTH)
040126	04013C	884	10-16-2013	L	10-16-2013	X	N/A

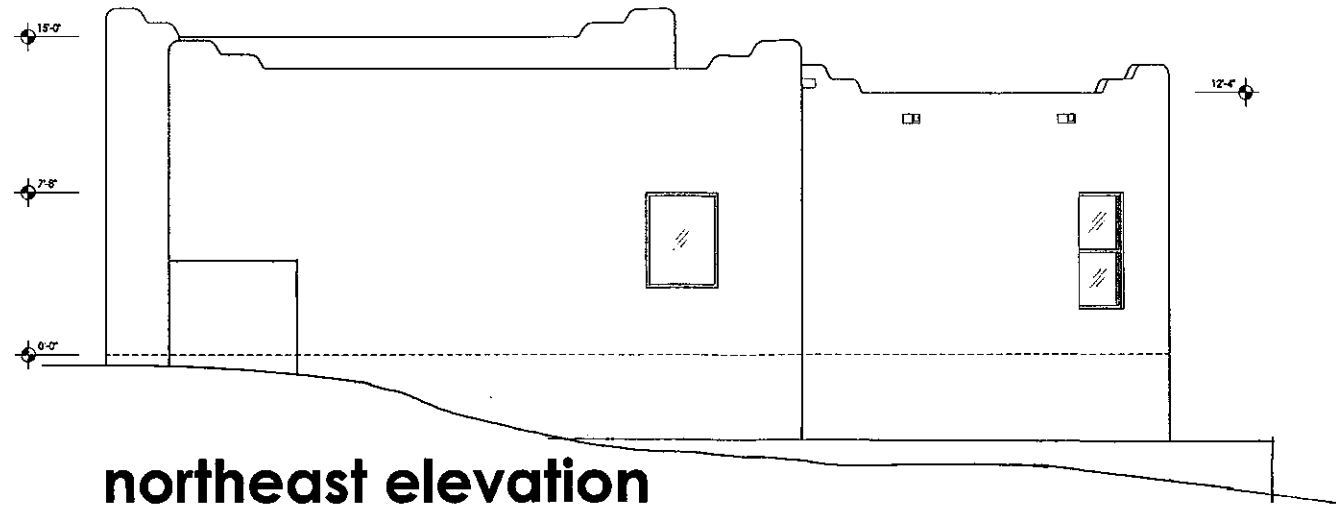
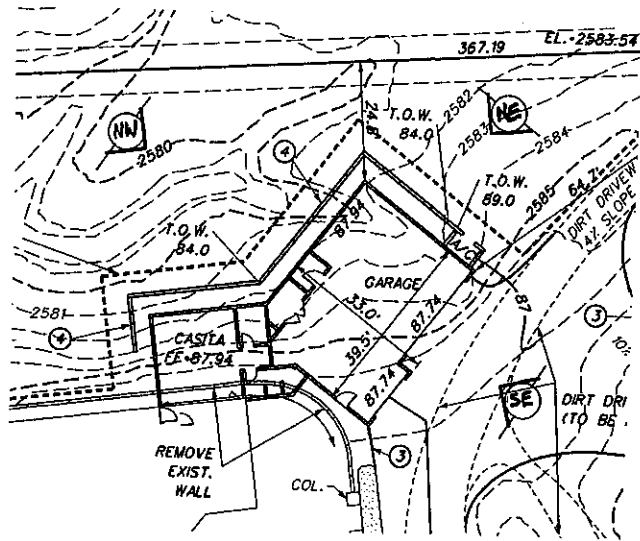
NIDAY GRADING AND DRAINAGE PLAN
 A PORTION OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 6 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

EVERETTALAN GROUP



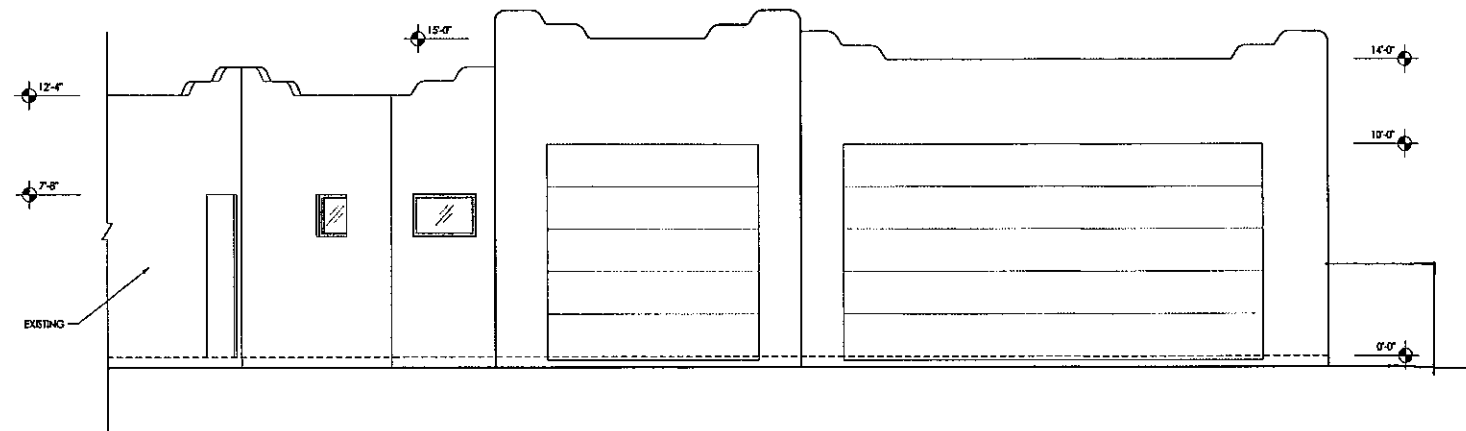
EVERETTALAN GROUP
1850 E. EVERETT
SUITE 110
CAVE CREEK, AZ 85377
PHONE: 858-390-6444
FAX: 858-390-6444
WWW.EVERETTALANGROUP.COM

PROJECT NO.	210612
SURVEYOR	J. LOFTIS
CAD TECH & DATE	
SHEET NO.	1 of 1



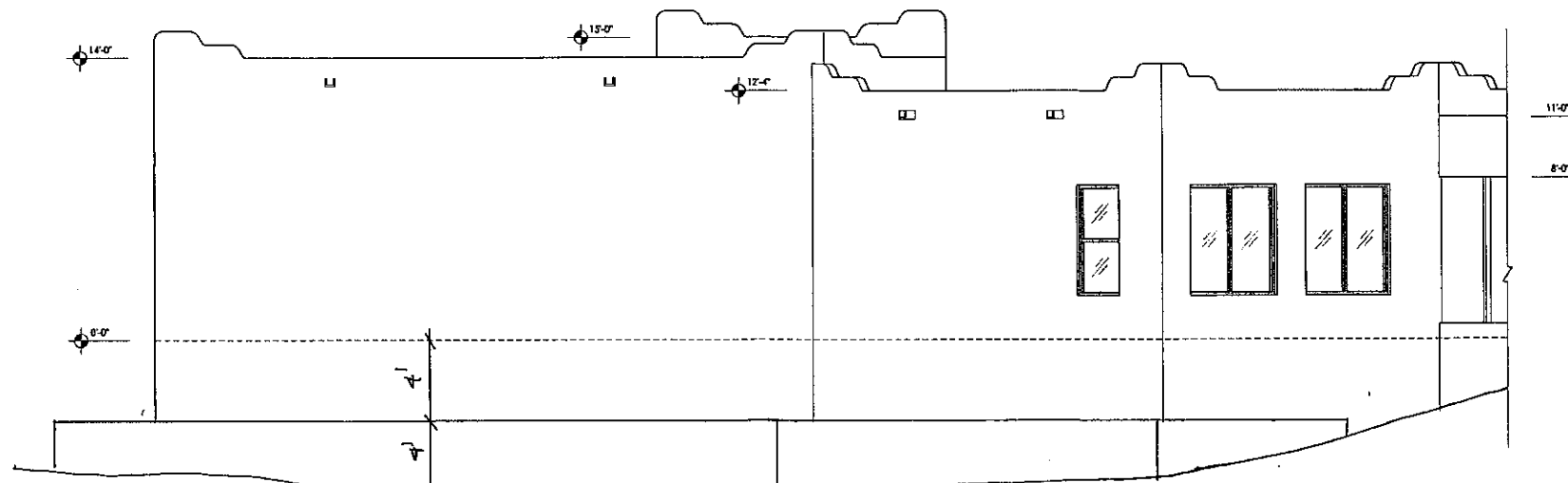
northeast elevation

scale: 1/4" = 1'-0"



southeast elevation

scale: 1/4" = 1'-0"



northwest elevation

scale: 1/4" = 1'-0"

The Niday Residence
 Addition
 36400 Placid Place
 Carefree, Arizona



DATE: 7/17/2021
 REVISED: 1/4/2022
 TSG

A4

DEVELOPMENT REVIEW BOARD - STAFF REPORT



MEETING DATE: August 15, 2022

Item No. 3

SUBJECT Mountainside Single-Family Residence, DRB Case #21-23-MS

REQUEST Pursuant to Article X of the Zoning Ordinance, this is a request for approval of a single-family residence in a Mountainside Zoning District overlay. The Mountainside overlay applies to properties in Carefree which contain a 20% percent slope or greater over a 50-foot length perpendicular to such slope. The philosophy of the Mountainside District is twofold: (1) encourage development to be placed in the least environmentally sensitive areas of a site; and (2) the proposed development is strategically integrated into the hillside.

Key Items for Consideration:

- The property is located at 39037 Silver Saddle Drive, Carefree, Maricopa County Tax Parcel #216-25-094B.
- The parcel is approximately 4.72 acres (205,796 sf) in size and zoned Rural-190 Single-Family Residential.
- A single-level, 4-bedroom home with a three-car garage, terraced retaining walls, a front covered entry porch and 2 back covered porches with a swimming pool, outdoor seating areas, and natural landscaping.
- Building materials include painted stucco with a tile roof and architectural details. Project includes a concrete unit paver driveway and painted stucco retaining walls.
- Proposed retaining walls accommodate access to the building location and are terraced to allow for landscaping.
- Access to the site is from Silver Saddle Drive, a public street.
- There are environmentally sensitive features on the site including steep slopes, protected plant species and a wash.
- The site meets the cut-to-fill ratio requirement of cut exceeding fill.
- Landscaping is proposed to revegetate disturbed areas and transition from the structures to the natural desert.
- The lot will be served by the Town of Carefree for water and an individual septic system provided by the Owner.
- Citizen Participation requirements have been met.

**APPLICANT/
OWNER**

Owners

Gregory and Stephanie
Spencer
P.O. Box 1287
Carefree, AZ 85377

Applicant

Kathi Crutchfield
NextGen Builders LLC
34406 N 27th Dr
Building 7, Suite 171
Phoenix, AZ 85085

Civil Engineer

Burt McCumber
McCumber Engineering
4825 E Dixon St
Mesa, AZ 85205

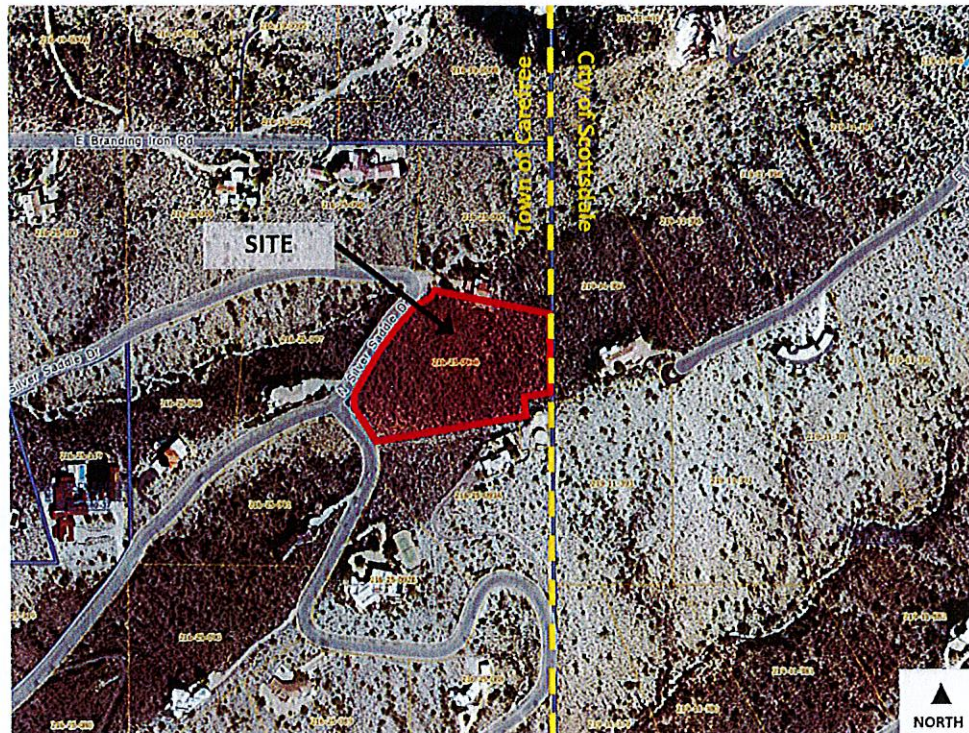
**LOCATION/
CONTEXT**

The subject property is a vacant parcel located at 39037 Silver Saddle Drive. The Carefree General Plan designates the land in and around the subject lot (with the exception of the properties located in the City of

Scottsdale) as Rural Residential (approximately one unit per 5 acres). The property is zoned Rural -190 (R190, minimum 190,000 square foot lot size) as well as the lots adjacent to the property in question. The adjacent land uses are as follows:

- North: 1 Single-family residence
- South: 1 Single-family residence and Carefree Water Company facility
- West: 1 Single-family residence and right-of-way
- East: 1 Single-family residence (City of Scottsdale)

**Aerial Context Map:
County Tax Parcel #216-25-094B, 39037 Silver Saddle Drive, Carefree**



Source: Maricopa County Assessor's Office, 2022

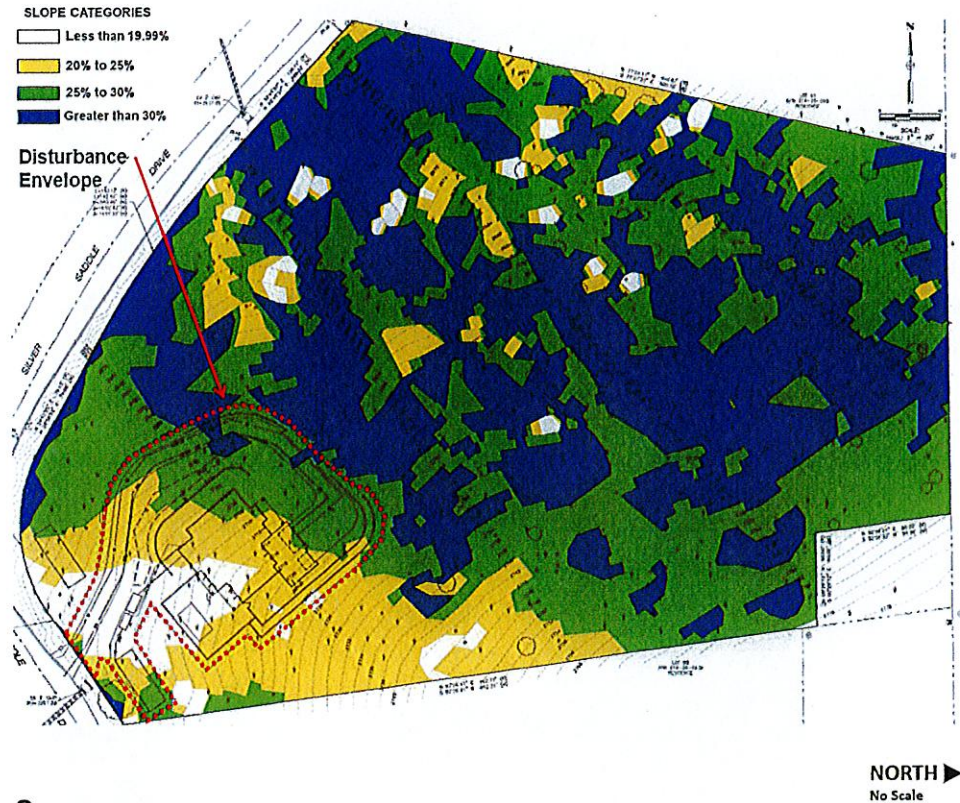
**SENSITIVE
FEATURES**

The overall site is encompassed by mountainside topography sloping steeply to the north towards Concho Lane and Silver Saddle Drive.

Over 40% of the site contains slopes greater than 30%. Much of these slopes are located from the middle of the site to the eastern side of the lot. Just over 38% of the site contains slopes ranging from 25% to 30%. These areas are intertwined with +30% slopes but are more prominent approaching the western side of the lot. Approximately 15% of the site contains slopes ranging from 20% to 25%. Most of this area is on the western side of the property where the proposed residence will be. Just a small portion of the lot contains slopes below 20% (approximately 6.4% of the site.) These areas are on the west side of the lot where the pool area and septic system will be. (See Diagram 1).

Other environmentally sensitive features found on the subject property are protected plants, including some scattered Saguaros. Saguaros and other protected plants, including Ocotillos and barrel cacti will require a more detailed salvage assessment and viable specimens shall be relocated at the building permit and construction stages. Much of the vegetation on site will remain unaffected.

Diagram 1:



DEVELOPMENT PLAN

Summary

The proposed single-level residence includes 4 bedrooms, a three-car garage with a front covered porch and 2 back covered porches. The outdoor space includes a swimming pool and outdoor seating areas.

The building and associated terraced retaining walls step down in line with the natural grade and attempt to create a very linear look to the development. The extent of the retaining walls is necessitated by the orientation of the home and level building pad. The total area under roof is 4,029 square feet. The intent of the overall development is to create a unique home that is in harmony with the mountainside and natural desert character. The architecture has a contemporary feel typical to many custom homes in Carefree.

The dominant materials of the home are stucco and glass, which take advantage of the sweeping views and natural desert creating an indoor-to-outdoor living concept. The colors of the home and walls will have stucco

walls for the structure utilizing a natural desert palette. Other colors include Pigeon Gray for walls and Black Walnut for trim; hardscape materials to blend with the natural desert colors.



Exterior Body:
Dunn Edwards
Pigeon Gray DE6214 (Flat)



Exterior Trim:
Dunn Edwards
Black Walnut DE6063 (Flat)

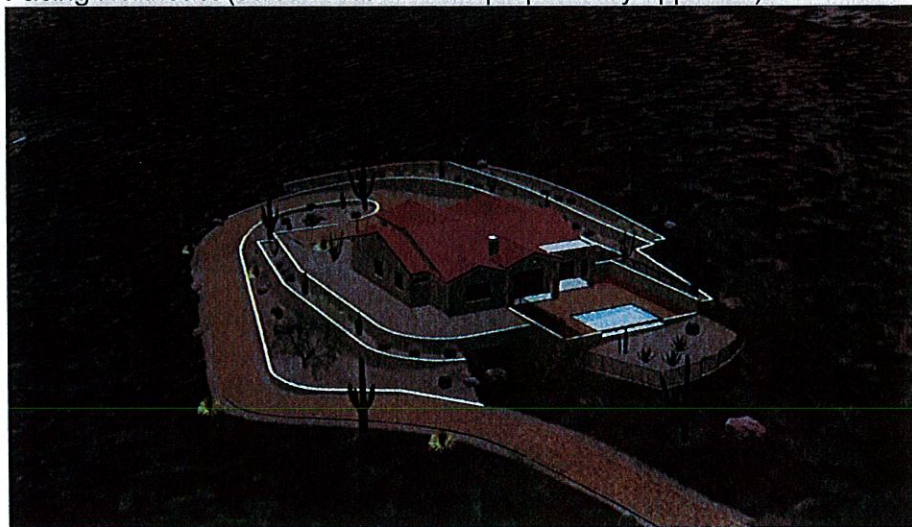


Roof Tile:
Boral - Mission "S"
Verona Clay

Facing southwest (screenshot of video prepared by applicant)



Facing Northeast (screenshot of video prepared by applicant)



Driveway

The driveway is designed to meet to the extent possible the cut to fill balance per Zoning. Retaining walls are used to accomplish this goal, as well as provide for acceptable gradients per Rural Metro requirements. Retaining walls will also retain grade portions of the driveway to minimize disturbance and protect adjacent natural terrain. A turn-around at the top of the driveway will allow for large fire trucks to maneuver in and out of the site. It will be a combination of unit pavers and another stabilized surface.



Gila River TM

Driveway Paver:

Acker Stone—Gila River

Lot coverage and Disturbed Area

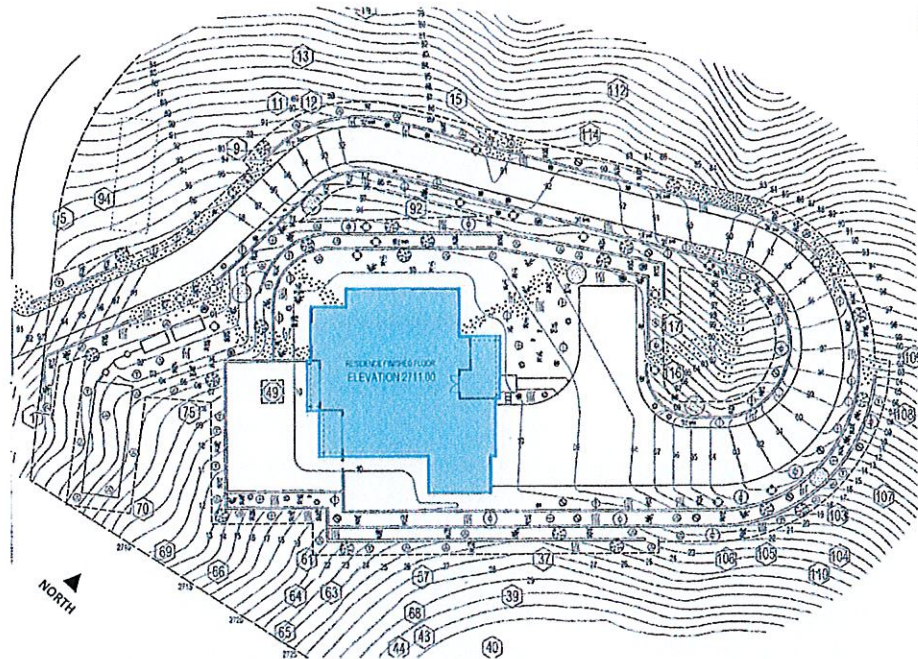
Maximum 6% lot coverage and maximum 18% disturbed area are allowed in R-190 Zoning. The proposed project complies, with 1.96% lot coverage and 16.4% disturbed area, which includes the driveway and septic areas.

Building Setbacks

Required building setbacks in Rural-190 Zoning are 60 feet front/rear and 30 feet on the sides measured from the property lines as shown on the attached plans. The building and a majority of the graded areas are within that developable area of the property. Disturbance related to the driveway and septic fields impose upon the front yard setback along the east side of the property, which is permissible. These areas will be stabilized by vegetation. Existing grade will be restored at the septic system prior to revegetation.

Landscaping

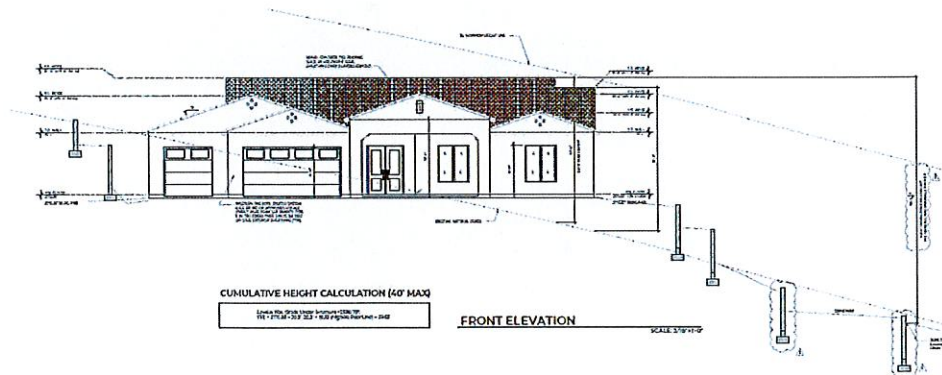
Landscaping is important in Mountainside developments, in particular to salvage protected plants, revegetate disturbed areas, screen terraced retaining walls, and transition the development from the interior areas to more natural desert areas further from the residence. A preliminary salvage inventory and landscape plan have been submitted in association with this application. The plan utilizes salvaged materials as required and will be further refined at the building permit stage. All disturbed areas shall be hydroseeded with a native desert mix and enhanced by additional revegetation per Town requirements.



A combination of drought tolerant plant material and salvaged plants are incorporated into the landscape plan. A final landscape plan with supporting salvage planting information will be required at the building permit phase.

Building Height

The building complies with the 40-foot maximum cumulative height for Mountainside developments with a measurement of 39'-8" feet. The project also meets the 24-foot maximum building height above natural (23'-4") and finished grade (19'-4") directly below.



Cut:Fill Ratio

The project design cuts into the natural grade with more cut than fill under the building footprint. There is approximately 272 cubic yards of cut under the building and approximately 267 cubic yards of fill. The total quantity of cut equals 1,229 cubic yards; the quantity of fill equals 868 cubic yards. Excess cut will be removed from the property.

Grading & Drainage

The subject property descends from the southeast corner of property to the north property line along Silver Saddle Drive. The project is designed to facilitate stormwater flows around the structure, essentially following the natural grade of the property and around the development. All finished floor elevations shall be set to be safe from potential inundation from the 100-year peak rainfall event and according to an approved Grading and Drainage Plan as submitted under a future building permit.

Based on the finished floor requirements, retaining walls were necessary to construct the driveway and garage court area. The proposed terracing of these walls meets Zoning requirements. Landscaping will help to reduce the scale and soften the overall appearance.

Site Utilities

The subject property will be serviced by the Town of Carefree for water and an onsite septic system for sewer. When a building permit is submitted, the location of the water line and septic system shall be included on the plans. Due to water pressure concerns expressed by the Carefree Water Company (Greg Crossman), the property will require a private, booster pump to allow for adequate and safe pressure at the home. Disturbance is limited to 3 feet on either side of the water service line, which shall follow the alignment of the driveway; and 5 feet for septic facilities. The plans include a proposed location for the septic system, and part of the disturbance calculation. The dry utilities (electric, phone, gas, cable if applicable) will be located underground below the onsite driveway as required by Zoning.

Citizen Participation

The Citizen Participation requirements have been met. The applicant distributed a letter notifying surrounding property owners within a 500-foot radius of the site. The letter was sent on September 30, 2021. The applicant has received no correspondence from anyone who received a letter. No other responses were received by Town staff.

DRB

If the Development Review Board approves this application, the attached Conditions for Approval are provided for the Board's consideration.

Attachments:

- ❖ Conditions for Approval
- ❖ Citizen Participation Report
- ❖ Plans
 - Slope Analysis
 - Grading and Drainage Plan
 - Landscape Plan
 - Elevations

CONDITIONS FOR APPROVAL
DRB Case #21-23-MS
39037 Silver Saddle Drive, Carefree
Maricopa County Tax Parcel #216-25-094B

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application and attached to this report as well as the conditions approved by the Development Review Board on August 15, 2022.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. A private booster pump shall be required as part of the building permit submittal as reviewed and approved by Greg Crossman, General Manager of the Carefree Water Company.
4. The configuration of the septic system in the final permit plans shall be consistent with the configuration exhibited on the Grading and Drainage Plan submitted with this application and attached to this report.
5. Disturbed areas for the septic system installation shall be restored to existing grade and revegetated in a manner that is consistent with the plant type and density of the surrounding natural environment and as noted on the landscape plans. A final landscape plan which includes the associated revegetation plan shall be submitted and approved by the Town of Carefree prior to issuance of a building permit.
6. All retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance.
7. Driveway grading shall be designed consistent with the plans associated with this application and attached to this report and according to Section 10.06 *Site Disturbance and Driveways* of the Carefree Zoning Ordinance.
8. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
9. Landscaping shall meet all provisions of Article IX, Section 9.13.



BUILT ON EXCELLENCE AND INTEGRITY

Citizen Participation Report

03/08/2022

Spencer Residence

39037 N Silver Saddle Dr
Carefree, AZ 85377

Existing Use of Property: Residence

Request: Construction of new home

Owner: Gregory and Stephanie Spencer
PO Box 1287 Carefree, AZ
913-706-5539

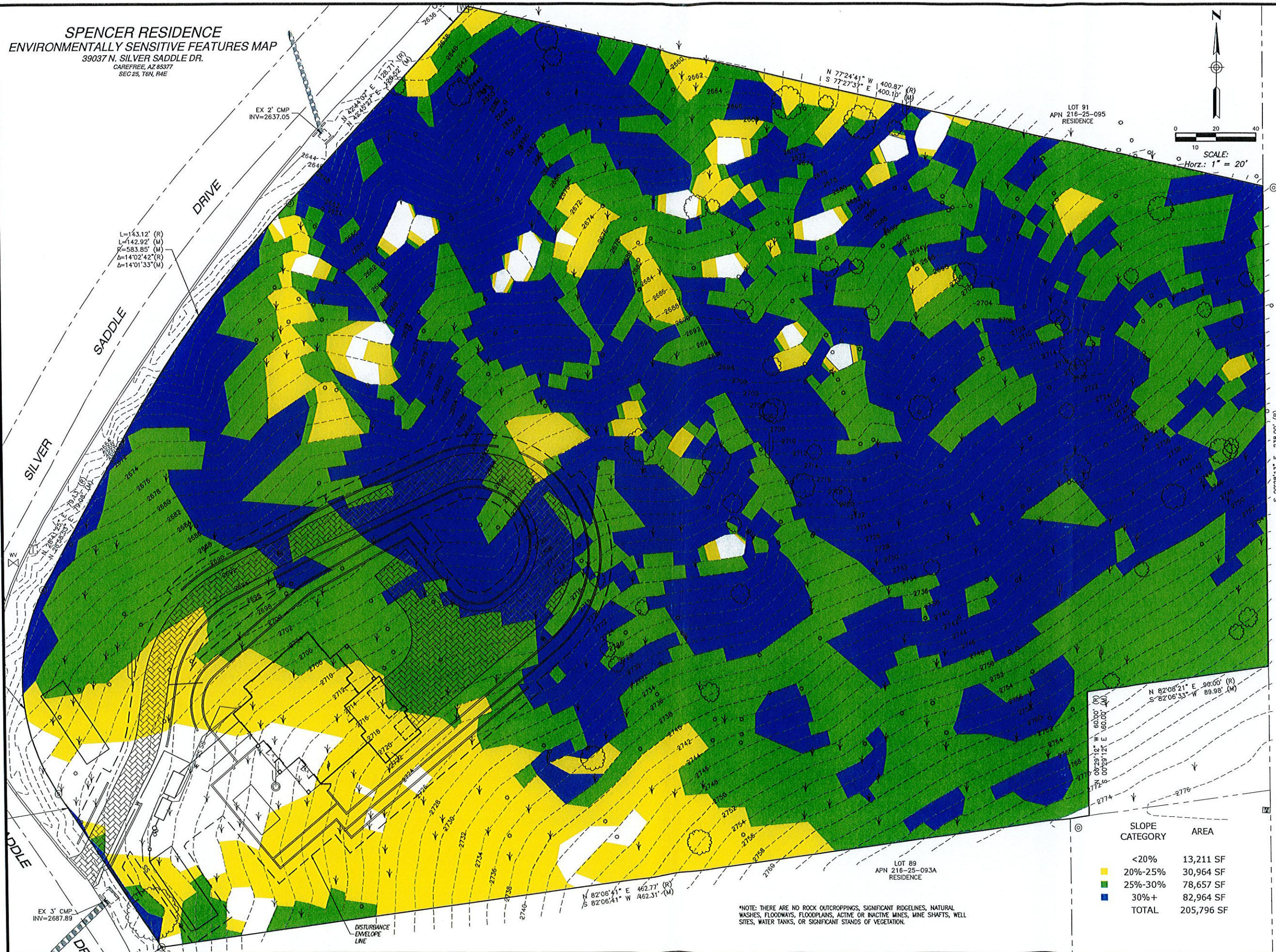
Applicant: Emily Diver
Land Development Manager
NextGen Builders LLC
602-612-4758
permits@nextgenbuildersaz.com

Contact: Applicant

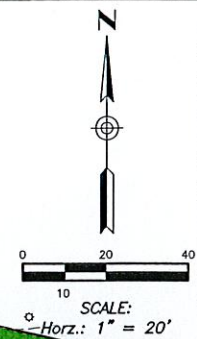
Responses:

The parties listed were notified by mail on 09/28/2021. There were no responses to the mailing.

SPENCER RESIDENCE
ENVIRONMENTALLY SENSITIVE FEATURES MAP
 39037 N. SILVER SADDLE DR.
 CAREFREE, AZ 85377
 SEC 25, T6N, R4E



L=143.12' (R)
 L=142.92' (M)
 R=583.85' (M)
 Δ=14°02'42" (R)
 Δ=14°01'33" (M)



N 82°08'21" E 90.00' (R)
 S 82°06'33" W 89.93' (M)

SLOPE CATEGORY	AREA
<20%	13,211 SF
20%-25%	30,964 SF
25%-30%	78,657 SF
30%+	82,964 SF
TOTAL	205,796 SF

*NOTE: THERE ARE NO ROCK OUTCROPPINGS, SIGNIFICANT RIDGELINES, NATURAL WASHES, FLOODWAYS, FLOODPLAINS, ACTIVE OR INACTIVE MINES, MINE SHAFTS, WELL SITES, WATER TANKS, OR SIGNIFICANT STANDS OF VEGETATION.

LOT 40
 RANCH HIGHLANDS
 APN 219-11-394
 RESIDENCE

LOT 91
 APN 216-25-095
 RESIDENCE

LOT 89
 APN 218-25-093A
 RESIDENCE

MCCUMBER ENGINEERING
 4895 E. DIXON ST.
 MESA, AZ 85205
 480-220-4362
 burtime@gmail.com

LOT 90, COW TRACT ESTATES 2
ENVIRONMENTALLY SENSITIVE FEATURES MAP
 CAREFREE AZ



Date	6-30-2021	Project Eng.	BJM
Project No.	20019	Project Manager	BJM

SA.1
 Sht.1 of 1

GENERAL NOTES:

1. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ANYONE WHO TAKES UPON HIMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. THE PLANS PREPARED FOR THIS PROJECT PRESENT A DESCRIPTION OF THE WORK TO BE ACCOMPLISHED. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND DETERMINE, FROM HIS OWN INSPECTION, THE CONDITIONS UNDER WHICH IT IS TO BE PERFORMED. THE CONTRACTOR, BY MAKING HIS BID, REPRESENTS THAT HE HAS VISITED THE SITE AND FAMILIARIZED HIMSELF WITH LOCAL CONDITIONS. THE TYPE OF WORK TO BE PERFORMED, EVALUATED THE DIFFICULTY OF PERFORMING THE REQUIRED TASKS, AND THE LABOR, EQUIPMENT AND MATERIAL THAT ARE REQUIRED TO PROVIDE A COMPLETE PROJECT.
3. THE CONTRACTOR SHALL VERIFY WITH THE OWNER'S ENGINEER THAT HE HAS THE MOST CURRENT SET OF CONSTRUCTION PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND KEEP THE APPROVED SET OF PLANS ON-SITE FROM START OF CONSTRUCTION TO PROJECT COMPLETION. ANY CONSTRUCTION OR INSTALLATION BASED ON OUT-OF-DATE PLANS SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
4. A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL UNDERGROUND OBSTRUCTIONS AND UTILITY LINES IN THE WORK AREA; HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF SAID UTILITIES IN ADVANCE OF TRENCHING. THE ENGINEER WILL NOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CALL BLUE STAKE PRIOR TO CONSTRUCTION AND VERIFY THE PRESENCE OF AND SHALL PROTECT ANY OVERHEAD OR UNDERGROUND UTILITIES DURING CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE UNDERGROUND UTILITIES AND/OR STRUCTURES IF NECESSARY TO VERIFY UNDERGROUND UTILITIES. WHERE EXISTING UNDERGROUND UTILITIES ARE EXPOSED, CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY FOR INSPECTION PRIOR TO BACKFILLING.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL POINTS OF CONNECTION PRIOR TO DIGGING BEYOND THE POINT OF CONNECTION.
6. ALL SLOPES HIGHER THAN ONE (1) FOOT AND STEEPER THAN 20:1, UNLESS LINED WITH TURF, SHALL BE COMPACTED AND TESTED PER MAG SPECIFICATION 215.
7. ANY EARTHWORK VOLUMES SHOWN ON THESE PLANS ARE FOR INFORMATION ONLY AND SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR'S BID SHALL INCLUDE ALL COSTS ASSOCIATED WITH IMPORTING AND PLACING MATERIAL OR STOCKPILING, HAULING AND DISPOSING OF EXCESS MATERIAL IN ACCORDANCE WITH THEIR CALCULATIONS AND DETERMINATION.
8. REFER TO NATIVE PLANT INVENTORY FOR AFFECTED NATIVE PLANTS.

CAREFREE NOTES:

1. MEASURES SHALL BE TAKEN DURING CONSTRUCTION TO AVOID SEDIMENT RUN OFF FROM ANY DISTURBED AREA.
2. FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 1 FOOT ABOVE 100-YEAR STORMWATER SURFACE ELEVATION.
3. EXCESS CUT MATERIAL SHALL BE REMOVED FROM THE SITE.
4. ALL CONSTRUCTED SLOPES SHALL BE EROSION PROTECTED WITH RIP RAP AND PLANTS.
5. AN AS-BUILT SURVEY PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO POURING THE FLOOR, AND WILL VERIFY SETBACKS AND FINISHED FLOOR ELEVATIONS.
6. AT THE FRAMING INSPECTION, A HEIGHT CERTIFICATION PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED VERIFYING BUILDING HEIGHT.
7. A 6-FOOT CHAIN LINK CONSTRUCTION FENCE SHALL BE PLACED ON THE DISTURBED AREA BOUNDARY PRIOR TO EXCAVATION AND GRADING.
8. A LETTER FROM A SURVEYOR REGISTERED IN THE STATE OF ARIZONA SHALL BE SUBMITTED VERIFYING THAT A 6-FOOT CONSTRUCTION FENCE HAS BEEN INSTALLED OVER THE DISTURBED AREA SHOWN ON THE PLAN PRIOR TO EXCAVATION AND GRADING.
9. ALL PLANTS PROTECTED BY THE TOWN OF CAREFREE, INCLUDING SMALL CACTI, SHALL BE SALVAGED AND RELOCATED TO DESIGNATED PLACES. SAGUARO TRANSPLANTING METHODOLOGY RECOMMENDED BY THE TOWN OF CAREFREE WILL BE USED.
10. A PRE-GRADING INSPECTION IS REQUIRED AFTER THE PERMIT IS ISSUED AND BEFORE ANY GRADING BEGINS. ALL PROTECTED PLANTS ARE TO BE MOVED INTO THE DESIGNATION AREAS. THE CONSTRUCTION FENCE IS TO BE IN PLACE, AND THE BUILDING DEPARTMENT IS TO BE CALLED FOR AN INSPECTION.
11. AT SEPTIC SYSTEM, RESTORE GRADE TO ITS EXISTING CONDITION AND PROVIDE FOR REVEGETATION AS SHOWN ON THE LANDSCAPE PLAN.
12. HISTORICAL ENTRANCES AND EXIT POINTS AND HYDRAULIC PROPERTIES OF ALL EXISTING DRAINAGE CHANNELS SHALL BE PRESERVED IN THEIR NATURAL CONDITIONS.
13. HVAC UNITS AND MECHANICAL EQUIPMENT INCLUDING POOL EQUIPMENT SHALL BE SCREENED BY SOLID WALLS AND GATED PURSUANT TO SECTION 3.0.7 OF THE CAREFREE ZONING ORDINANCE AND IN CONFORMANCE WITH THE CAREFREE BUILDING CODE.
14. ALL LANDSCAPING SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

LEGAL DESCRIPTION

PER INST. No. 2016-0725317, RECORDS OF MARICOPA COUNTY;
 LOT 90, COW TRACK ESTATES TWO, ACCORDING TO THE PLAT OF RECORD ON FILE OF THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 82 OF MAPS, PAGE 28,
 EXCEPT THAT PORTION CONVEYED BY DEED RECORDED AS DOCUMENT NO. 2007-0239890 AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST PROPERTY CORNER OF SAID LOT 90;
 THENCE SOUTH 82 DEGREES 08 MINUTES 21 SECONDS WEST (RECORDED AS SOUTH 82 DEGREES 06 MINUTES 41 SECONDS WEST) ALONG THE SOUTHERLY LINE OF SAID LOT 90, A DISTANCE OF 90 FEET;
 THENCE NORTH 00 DEGREES 29 MINUTES 12 SECONDS WEST 60.00 FEET;
 THENCE NORTH 82 DEGREES 08 MINUTES 21 SECONDS EAST 90.00 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 90;
 THENCE SOUTH 00 DEGREES 29 MINUTES 12 SECONDS EAST ALONG SAID EASTERLY LINE 60.00 FEET TO THE POINT OF BEGINNING.

FLOODPLAIN DESIGNATION:

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE 'X' DEFINED AS "AREAS IDENTIFIED IN THE COMMUNITY FIS AS AREAS OF MODERATE OR MINIMAL HAZARD FROM THE PRINCIPLE SOURCE OF FLOOD IN THE AREA," AS PER FLOOD INSURANCE RATE MAP NO. 04013C0884L, EFFECTIVE OCTOBER 16, 2013.

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
040126	0884 OCT 16, 2013	L	JUL 20, 2021	X	N/A

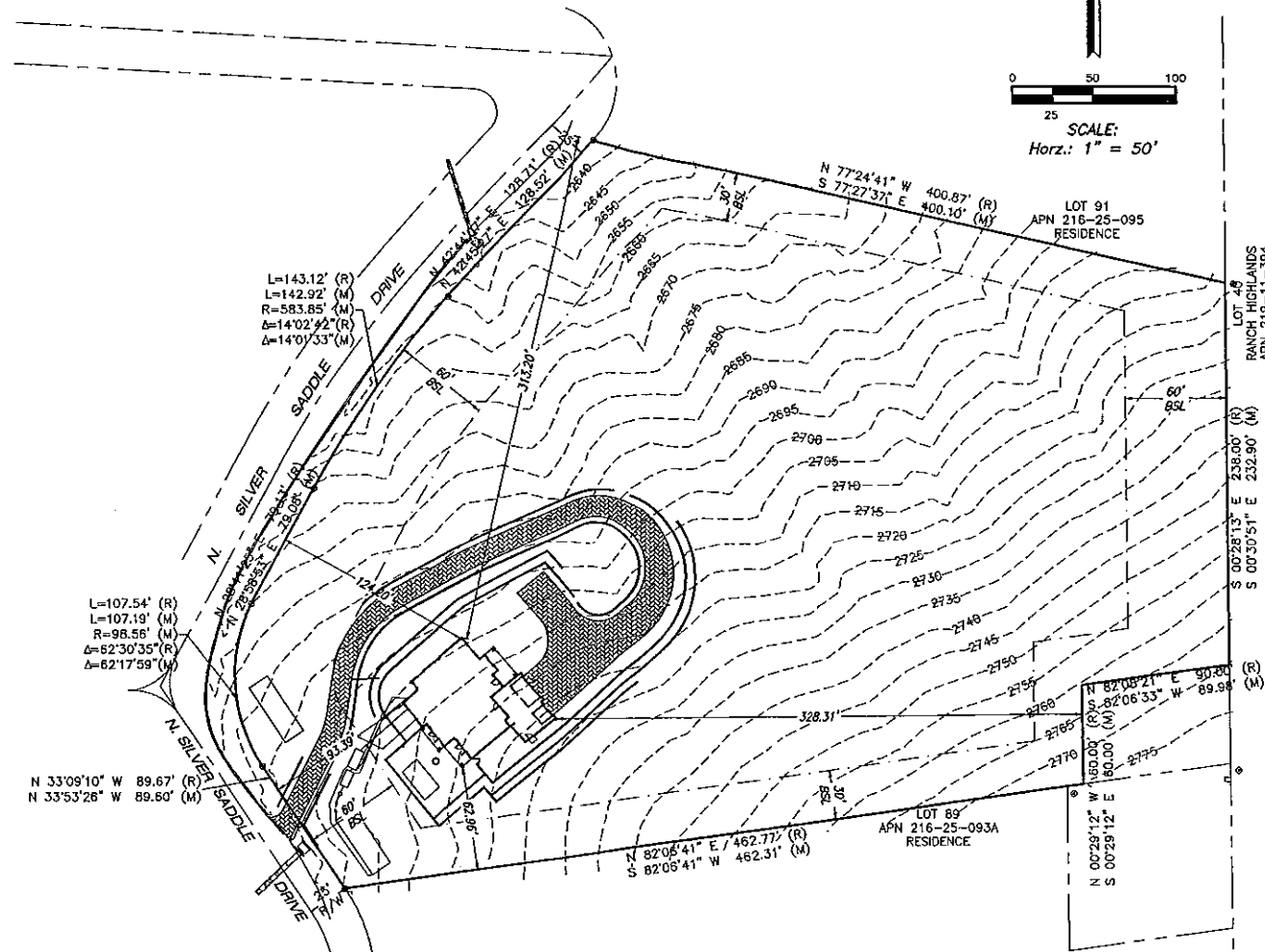
ENGINEER'S CERTIFICATION STATEMENT

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOODPROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODWAYS & FLOODPLAINS ORDINANCE.

OWNER:
 GREGORY M. & STEPHANIE C. SPENCER
 P.O. BOX #1287
 CAREFREE, AZ 85377

CIVIL ENGINEER:
 MCCUMBER ENGINEERING, INC.
 4825 E. DIXON ST.
 MESA, AZ 85205
 PH: (480) 220-4362
 CONTACT: BURT MCCUMBER, PE

**SPENCER RESIDENCE
 GRADING AND DRAINAGE PLAN
 39037 N. SILVER SADDLE DR.
 CAREFREE, AZ 85377
 SEC 25, T6N, R4E**

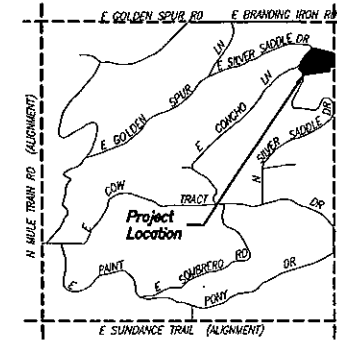


LEGEND:

- DRAINAGE FLOW
- FOUND REBAR
- ELECTRIC BOX
- TELECO PEDESTAL
- WATER METER
- BARREL CACTUS
- OCOTILLO
- SAGUARO
- TREE
- SETBACK LINE
- ADJACENT LOT LINE
- CENTERLINE
- PROPERTY LINE
- FF FINISH FLOOR ELEVATION
- BSL BUILDING SETBACK LINE
- TWI TOP OF WROUGHT IRON
- TW TOP OF WALL
- TRW TOP OF RETAINING WALL
- TF TOP OF FOOTING
- BW BOTTOM OF WALL
- D.O. DRAINAGE OPENING

ACCESS GRADES FROM 12.1% TO 15% FOR ONE SINGLE FAMILY RESIDENCE

DRIVE LENGTH	DRIVE WIDTH	DRIVE SURFACE	TURN-AROUND REQUIRED	HOSE LAY	SPRINKLER REQUIREMENTS
MORE THAN 200'	2-12-2	HARD	YES	LESS THAN 200'	YES



VICINITY MAP
 Not To Scale

SITE DATA:

APN: 216-25-094B
 MCR: BK 82 PG 28
 ZONING: RURAL-190
 TOTAL LOT AREA: 205,796 SF or 4.724 AC
 MAX DIST. LOT AREA: 37,043 SF or 0.850 AC (18%)
 ACTUAL DIST. LOT AREA: 33,607 SF or 0.776 AC (16.4%)

BUILDING SETBACKS:
 FRONT SETBACK: 60'
 SIDE SETBACK: 30'
 REAR SETBACK: 60'

MOUNTAINSIDE DISTURBANCE:

Category	Area (SF)	Percentage
<19.9%	6,016	2.9%
20.0-24.9%	9,288	4.5%
25.0-29.9%	11,833	5.8%
>30%	6,668	3.2%

TOWN OF CAREFREE EARTHWORK CALCS UNDER BUILDING PAD

Category	Quantity
CUT	430 CY
FILL	140 CY
NET	290 CY EXPORT

OVERALL EARTHWORK CALCS

Category	Quantity
CUT	3,239 CY
FILL	961 CY
NET	2,278 CY EXPORT

*NOTES: QUANTITIES ARE APPROXIMATE. GRADING CONTRACTOR RESPONSIBLE FOR ESTIMATING QUANTITY TAKEOFFS. MCCUMBER ENGINEERING MAKES NO ASSURANCES AS TO FINAL EARTHWORK QUANTITIES.

LOT COVERAGE:

Category	Area (SF)	Percentage
LOT AREA	205,796	SF
LIABLE	2,764	SF
GARAGE	733	SF
PORCH	270	SF
PATIO	212	SF
TOTAL UNDER ROOF	4,029	SF (1.96%)

BENCHMARK:

PROJECT: RM OF HAND HOLE (RM 136) LOCATED AT THE CENTERLINE INTERSECTION OF CAVE CREEK AND SCOTTSDALE ROADS.
 ELEV = 2,344.24' NAVD29.

SITE: 1/2" REBAR W/ TAG #2225 NORTHWEST CORNER SUBJECT PROPERTY.
 ELEVATION = 2,637.15' NAVD88.

Burt J. Mccumber
 I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE BENCHMARK PROVIDED ABOVE.

SHEET INDEX:

- GD.1 COVER SHEET/NOTES
- GD.2 GRADING AND DRAINAGE PLAN
- GD.3 CROSS SECTIONS/DETAILS
- GD.4 CROSS SECTIONS

MCCUMBER ENGINEERING
 4825 E. DIXON ST.
 MESA, AZ 85205
 480-220-4362
 burjmc@gmail.com

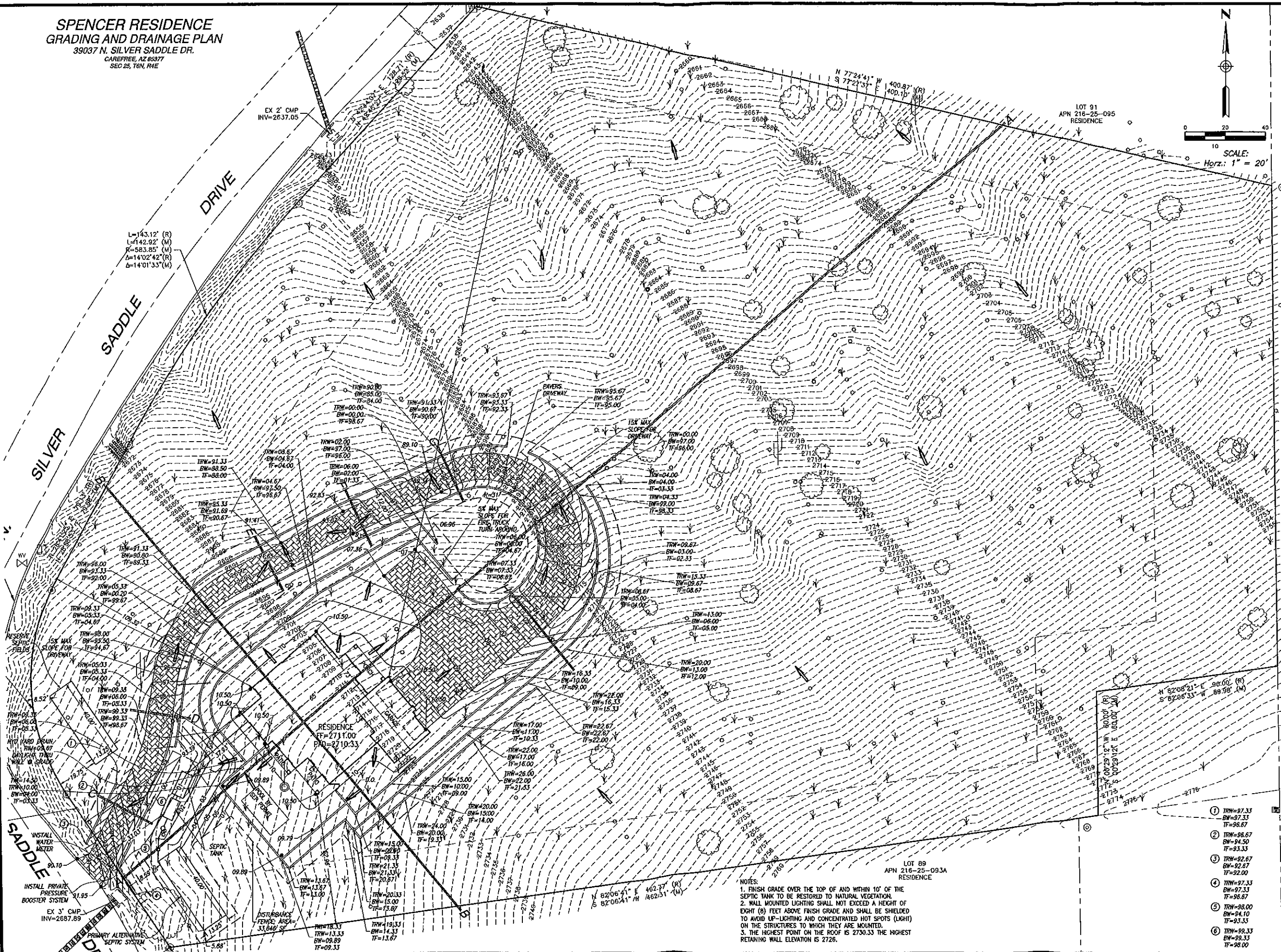
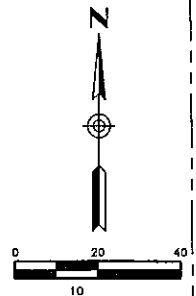
LOT 90, COW TRACK ESTATES 2
 COVER SHEET/NOTES
 CAREFREE, AZ



Date	Project Eng.	BIM
6-7-2022	Burt J. Mccumber	
Project No.	Project Manager	BIM
20019	Burt J. Mccumber	

GD.1
 Sheet 1 of 4

SPENCER RESIDENCE
GRADING AND DRAINAGE PLAN
 39037 N. SILVER SADDLE DR.
 CAREFREE, AZ 85977
 SEC 25, T6N, R4E



L=143.12' (R)
 L=142.92' (M)
 R=583.85' (M)
 Δ=14°02'42" (R)
 Δ=14°01'33" (M)

LOT 91
 APN 216-25-095
 RESIDENCE

S 02°28'13" E 238.00' (R)
 S 06°59'51" E 832.90' (M)

N 82°08'21" E 90.00' (R)
 S 82°08'33" W 89.98' (M)

LOT 89
 APN 216-25-093A
 RESIDENCE

NOTES:
 1. FINISH GRADE OVER THE TOP OF AND WITHIN 10' OF THE SEPTIC TANK TO BE RESTORED TO NATURAL VEGETATION.
 2. WALL MOUNTED LIGHTING SHALL NOT EXCEED A HEIGHT OF EIGHT (8) FEET ABOVE FINISH GRADE AND SHALL BE SHIELDED TO AVOID UP-LIGHTING AND CONCENTRATED HOT SPOTS (LIGHT) ON THE STRUCTURES TO WHICH THEY ARE MOUNTED.
 3. THE HIGHEST POINT ON THE ROOF IS 2730.33 THE HIGHEST RETAINING WALL ELEVATION IS 2728.

- ① TRW=97.33
 BW=97.33
 TF=96.67
- ② TRW=96.67
 BW=94.50
 TF=93.33
- ③ TRW=92.67
 BW=92.67
 TF=92.00
- ④ TRW=97.33
 BW=97.33
 TF=96.67
- ⑤ TRW=98.00
 BW=94.10
 TF=93.33
- ⑥ TRW=99.33
 BW=99.33
 TF=98.00

MCCUMBER ENGINEERING
 4825 E. DIXON ST.
 MESA, AZ 85205
 480-220-4362
 burfjmc@gmail.com

LOT 90, COW TRACT ESTATES 2
GRADING AND DRAINAGE
 CAREFREE AZ



Call before you dig
 1.800.STAKE.IT
 602.263.1100

Date	6-7-2022	Project Eng.	BJM
Project No.	20019	Project Manager	BJM

GD.2
 Sht.2 of 4

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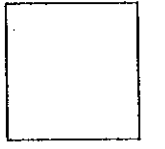
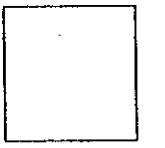
1054 North 91st Place
Mesa, AZ 85207
T:480-560-1716
F:480-658-4042
rmiklosdesigns@yahoo.com

Residential Design
Landscape Design
Construction Consulting

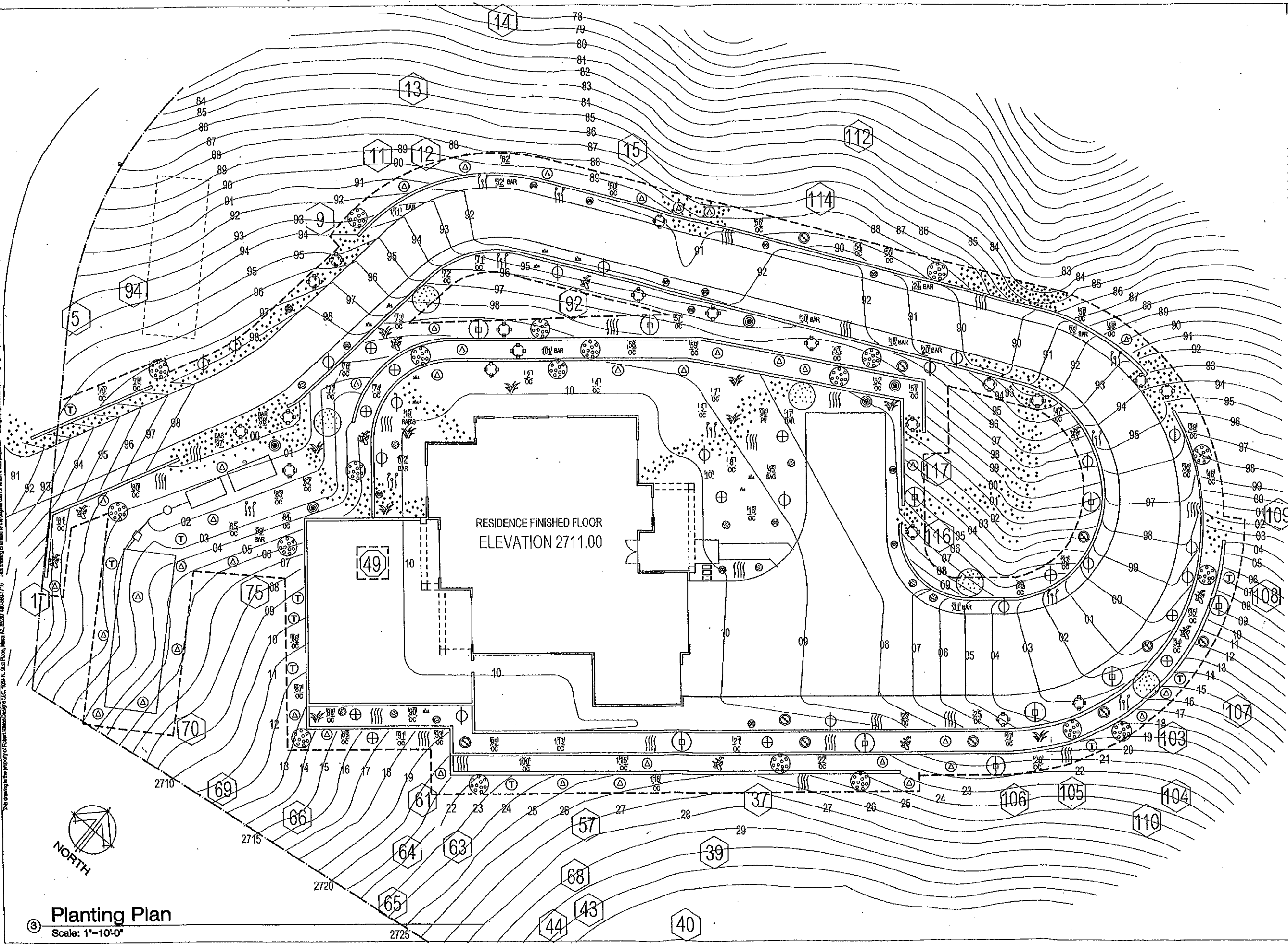
39037 North Silver Saddle Drive
Carefree, Arizona 85377

www.robertmiklosdesigns.com

Spencer Residence
Lot 90 Cow Tract Estates 2



Phase: Design
Drawn By: RNM
Date: 04/24/22
Revised:
Revised:
Sheet: L3.0
Planting Plan



③ Planting Plan
Scale: 1"=10'-0"

NEXTGEN

BUILDERS
PHOENIX, ARIZONA
PH: 602-686-1280
EMAIL: info@nextgenbuilders.com
LICENSED: 8090528 - LICENSED

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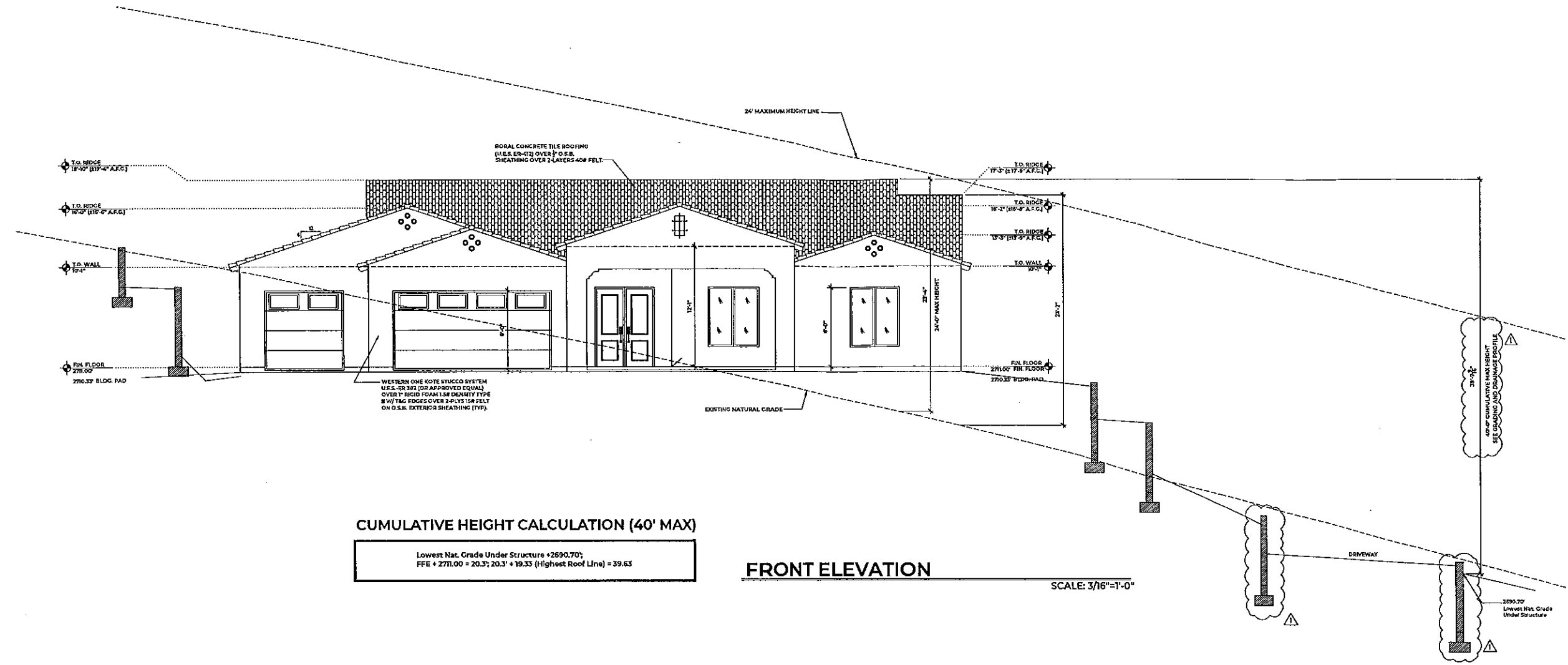
REVISIONS

▲	Town of Carefree Comments
▲	7/2/2022
▲	
▲	

SPENCER RESIDENCE
39037 N SILVER SADDLE DR (APN 216-25-094B)
CAREFREE, ARIZONA 85377
OWNER: Greg & Stephanie Spencer

SCALE: AS NOTED
DRAWN: RD
CHECKED: PC
DATE: 06/29/21
SHEET NUMBER:

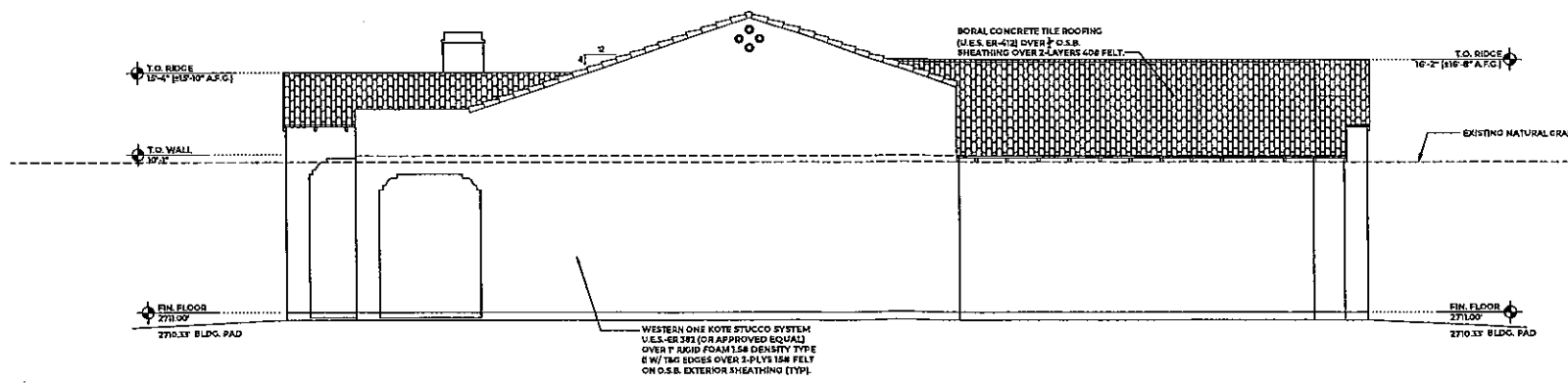
A3.0



CUMULATIVE HEIGHT CALCULATION (40' MAX)

Lowest Nat. Grade Under Structure +2690.70'
FFE + 271.00 = 20.3'; 20.3' + 19.33' (Highest Roof Line) = 39.63'

FRONT ELEVATION
SCALE: 3/16"=1'-0"



LEFT ELEVATION
SCALE: 3/16"=1'-0"

SURFACE DRAINAGE NOTE

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. (IRC SEC. R401.3)

FLASHING NOTES

- MECHANICAL CONTRACTOR TO PROVIDE AIR CONDITIONING FLASHING PANEL AT ALL EXTERIOR WALL PENETRATIONS.
- OATEY QUICKFLASH TO BE USED AT EXTERIOR LINE SET WALL PENETRATIONS, MODEL A/C VC UNIVERSAL CURVED OR EQUIVALENT. OATEY QUICKFLASH P-50 TO BE USED DEPENDING ON PIPE SIZE TO BE USED AT ALL EXTERIOR CONDENSATE DRAIN LOCATIONS.
- PROVIDE OATEY QUICK FLASH E-SGB-C & E-3/0 B-A OR EQUIVALENT FLASHING AT ALL EXTERIOR OUTLETS AND PENETRATIONS.

ENERGY COMPLIANCE

THE BUILDING ENVELOPE MUST COMPLY WITH THE FOLLOWING FENESTRATION:

0.40 MAX U-FACTOR, 0.25 MAX SOLAR HEAT GAIN COEFFICIENT (SHGC),
MIN. R-13 @ 2x4 FRAME WALLS & FLOORS, MIN. R-19 @ 2x6 FRAME WALLS. R-6 @ MASS WALLS OR R-13 IN LOCATED ON INTERIOR SIDE, R-22 @ CEILINGS. DUCT INSTALLATION LOCATED OUTSIDE THE BUILDING ENVELOPE REQUIRES MIN R-9 AND R-6 WHEN LOCATED IN FLOOR JOISTS. MINIMIZE AIR LEAKAGE PER IECC 402.4.

NOTE:
CONTRACTOR TO VERIFY FINAL PARAPET / PLATE AND RIDGE HEIGHTS AS SHOWN ON ELEVATIONS/SECTIONS BASED ON FINAL APPROVED TRUSS SHOP DRAWINGS. DEPTHS OF TRUSSES NEED TO BE CONFIRMED WITH SECTIONS AND ELEVATIONS TO DETERMINE ANY NECESSARY DE-CONFLICTION. HVAC CONTRACTOR MUST VERIFY ALL DUCT PLACEMENT LOCATIONS BASED ON SIZING OF DUCTS AND DEPTHS OF TRUSSES AS SHOWN FINAL APPROVED TRUSS SHOP DRAWINGS. IF DROPS OR SOFFITS ARE NEEDED, COORDINATE WITH THE FRAMER AND OWNER UPON DETERMINATION OF THE NEEDED SOFFITS. ANY CHANGES MUST BE BROUGHT UP TO THE BUILDING OFFICIAL AND/OR THE ENGINEER OF RECORD PRIOR TO MAKING ANY CHANGES, AND SUBMIT THE NECESSARY WRITTEN RFI AS NEEDED TO CLARIFY OR REQUEST A WRITTEN CHANGE.

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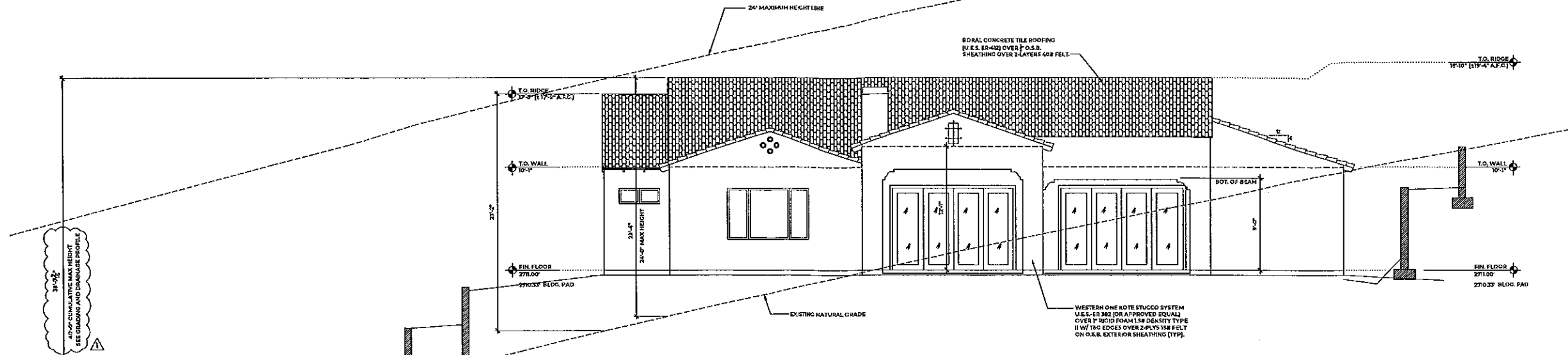
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▲	Town of Carefree Comments
▲	7/7/2022
▲	
▲	

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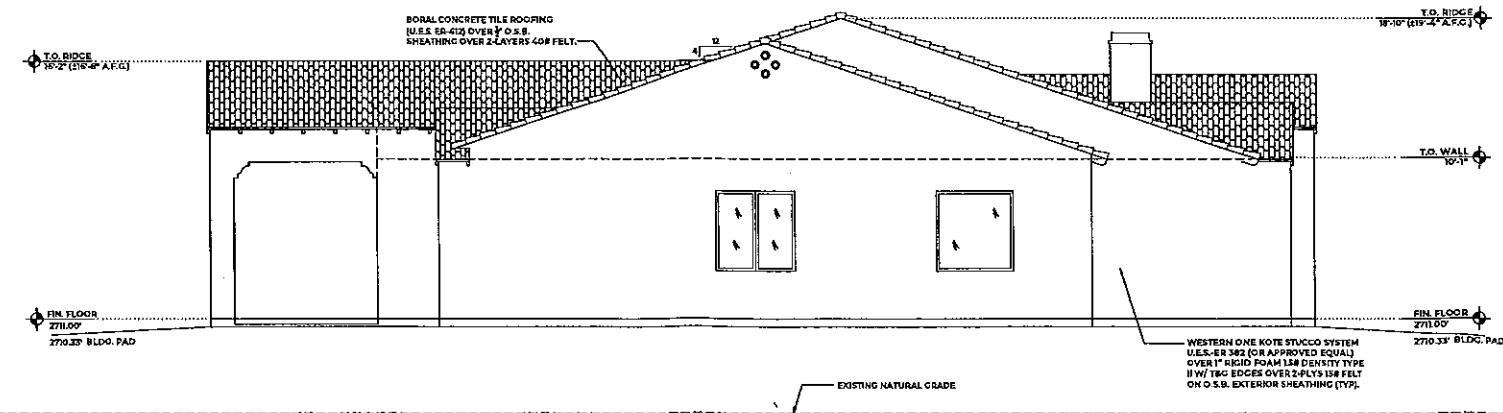


REAR ELEVATION

SCALE: 3/16"=1'-0"

CUMULATIVE HEIGHT CALCULATION (40' MAX)

Lowest Nat. Grade Under Structure +2690.70';
FFE + 270.00 = 20.3'; 20.3' + 19.33 (Highest Roof Line) = 39.63



RIGHT ELEVATION

SCALE: 3/16"=1'-0"

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